



MEMO

TO: Planning and Zoning Commission

FROM: Sheila DeSchaaf, Planner II

DATE: July 13, 2009

SUBJECT: **Unified Development Code (UDC) Amendment, Section 15-02-014, 15-02-013.F
Historic Main Street Payson Design Review Overlay District**

P-358-09

Background

The Design Review Board was tasked with reviewing the existing design review guidelines and recommending to the Town Council any amendments to those guidelines. This code amendment follows the recent revisions to the town-wide Design Review Guidelines and will be included as Part IV, Subsection D, within that recently adopted Design Review Manual. This amendment affects the area currently referred to as the Green Valley Redevelopment Design Review Area.

At a special meeting on June 23, 2009 the Green Valley Redevelopment Area (GVRA) Commission voted 4-0 to approve the proposal as it is being presented to the Planning & Zoning Commission (absent during the meeting were Commissioners Charles Proudfoot and Ken Mooney.)

Analysis

The proposed amendment to the Green Valley Redevelopment Design Review Area guidelines would replace the existing guidelines (UDC § 15-02-013.F) in their entirety and place the provisions under UDC § 15-02-014 to keep all Design Review guidelines within the Design Review Manual.

The most notable amendments to the current guidelines include a realignment to the overlay district boundaries, reducing the area of applicability slightly to include only the front 200 feet of all properties fronting on W. Main Street from Highway 87 to Oak Street. The overlay district currently referred to as the Green Valley Redevelopment Design Review Area would also be renamed to "Historic Main Street Payson Design Review Area." An increase in the maximum allowable size of signs would be permitted, provided signage proposed is historically appropriate. Lastly, the area would no longer use the Historic District Color Chart, but would follow the standard adopted in the current Design Review Manual, which allows natural, non-glossy colors with a light reflectance value (LRV) of 35% or less.

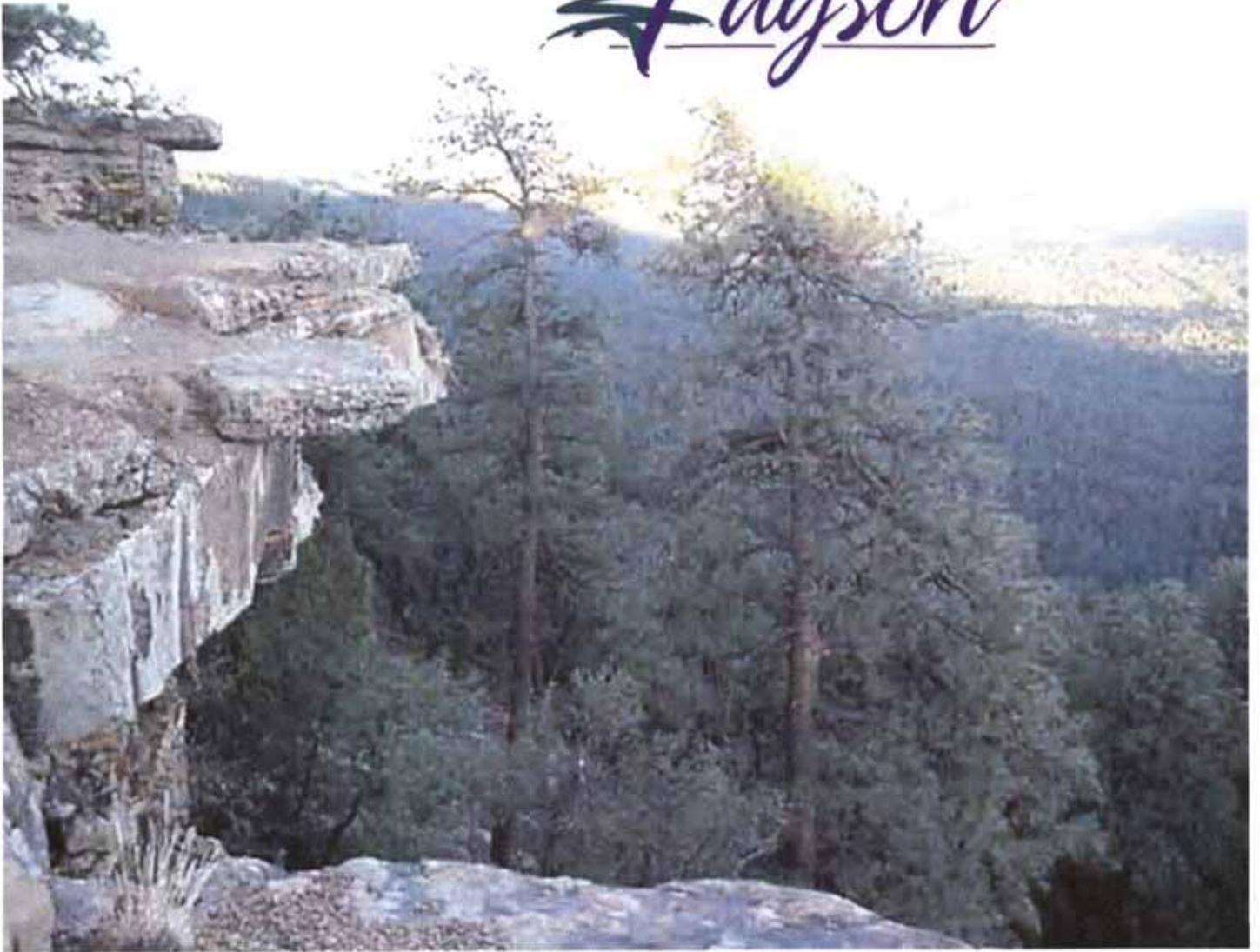
Motion

If the Commission agrees with the proposed revisions, an acceptable motion could be:

"I move the Planning and Zoning Commission recommend to the Town Council approval of

P-358-09, an amendment to the Unified Development Code, Section 15-02-014 Design Review Overlay District and Section 15-02-013.F Special Plan District-Green Valley Redevelopment Area, Design Review as outlined in the attached exhibits.”

Attachments: Existing Unified Development Code Section 15-02-014 Design Review Manual
Including existing UDC Section 15-02-013.F, GVRA Design Review guidelines
Exhibit A – Proposed Amendment to Green Valley Redevelopment Design Review Area
Exhibit B – Proposed Amendment to Part III, Application Procedure, Design Review Manual
Exhibit C – Draft of proposed Appendix D



Design Review Manual

Ordinance No. 746
Resolution No. 2410
December 12, 2008

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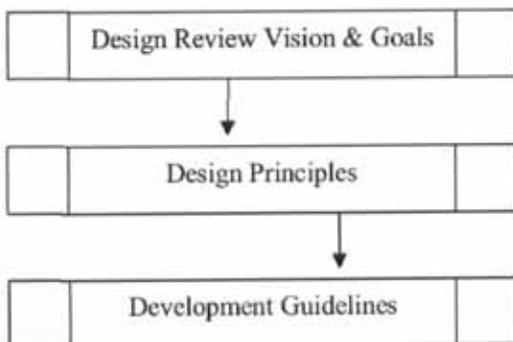
PART I

A. Purpose & Intent

1. The purpose of Design Review is to encourage:
 - a. Preservation and enhancement of property values;
 - b. Enhancement of public safety;
 - c. Promotion of pedestrian safety and comfort;
 - d. Preservation of natural landscaping and significant natural features;
 - e. Preservation of our quality of life; and
 - f. Enhancement of the aesthetic environment.
2. The Town desires to preserve the mountain, forest character of its small, rural community and highly values:
 - a. Natural, indigenous building materials, textures and colors that blend with the environment and are compatible with our natural surroundings;
 - b. Structures and layouts that compliment pedestrian systems;
 - c. Non-contemporary, traditional western style, mountain character building forms; and
 - d. Native landscaping and preservation of significant features, such as mature tree growth, rock outcrops, and view sheds.

B. Vision & Goals

1. The design review process is intended to provide the Town with an orderly aesthetic growth pattern in keeping with the cultural and historic foundations of the Town of Payson. Indigenous building materials used by the prehistoric builders and early settlers in the Payson region included the use of the abundant stone and wood timber of the area. These natural materials remain a favorite for use in construction within our community today, thus providing an aesthetic bridge between the past and our promising future as we continue to grow at the edge of the world's largest Ponderosa Pine forest.
2. The goals of Design Review include:
 - a. Preservation of the mountain, forest character and heritage of the Town of Payson;
 - b. Encourage the use of non-contemporary, rustic style buildings;
 - c. Ensuring development is appropriate in terms of scale within the Town and relative to the vicinity of the site.



All proposals should strive to meet the vision and goals of design review and address the appropriate design principles. Development guidelines help ensure the established design principles are incorporated into each project and that all new development contributes to the design review vision.

C. Design Principles

Payson's Design Principles are centered around the belief that development should respect the unique climate, topography, vegetation and historical context of Payson's natural forest and mountain environment. These characteristics help sustain our community, its attractiveness as a tourist destination, and its quality of life. These Design Principles are the essence of and foundation for the guidelines described in this Design Review Manual.

1. Architectural Character



Building style should reflect Payson's mountain look and western heritage.



Structures should enhance the human level of commercial developments and respect the scale and character of the Town and adjoining areas.

Materials should compliment the mountain, forest environment through the use of abundant stone and wood.





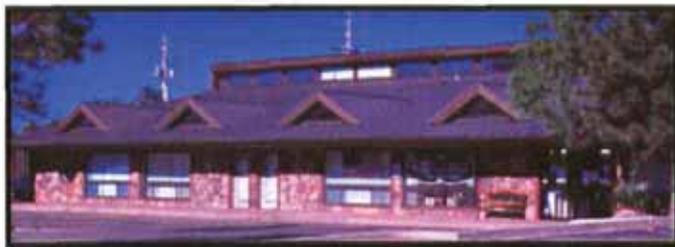
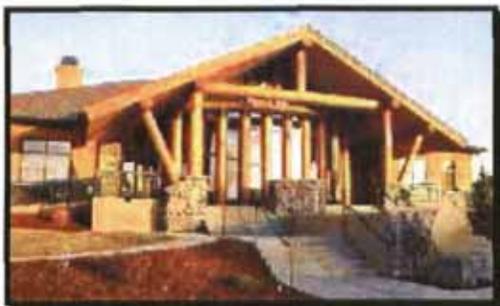
Sloped roofs having a minimum two foot overhang are encouraged.



Natural, subdued, mountain brown and forest green colors are encouraged.

On painted structures, contrast between trim and body colors is encouraged.

Palette and colors should reflect the predominant natural subdued color of the mountains and the forest.



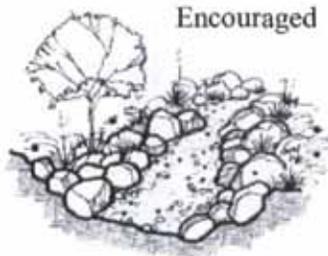
Franchise businesses may need to modify corporate prototypes to fit the character of Payson.

The use of good site planning and design, landscape architecture and civil engineering that enhances the existing and future appearance of development areas is highly valued.

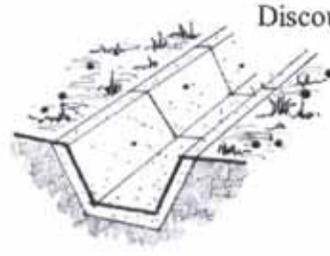
Development and layout of buildings at this site (right) preserved the stand of existing Ponderosa Pine trees in a meaningful open space area, which also doubles as a detention area.



Areas for retention or detention should maintain existing native plants on the site and be landscaped with appropriate materials and integrated into the overall design and layout of the development.



Encouraged

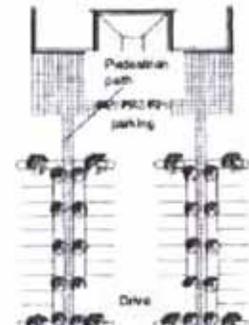


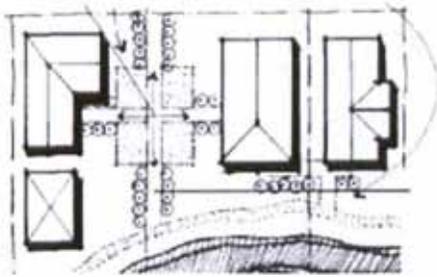
Discouraged

A strong pedestrian connection should be provided from the building to public walkways, and area wide Payson Area Trails System, where applicable.



Walkways should be defined to provide clear, convenient routes through parking lots to building entrances.



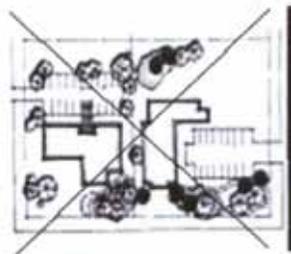


The pedestrian ways shown (left) link adjacent developments and connect to public trails and walkways.

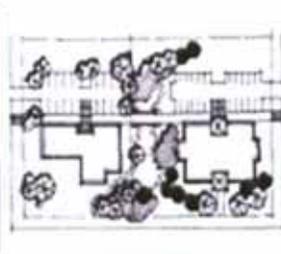
Meandering sidewalks are preferred over rigid, straight alignments.

All development proposals should coordinate pedestrian and vehicular circulation patterns with adjacent buildings and sites.

Shared access drives are encouraged to minimize curb cuts.



Discouraged



Encouraged

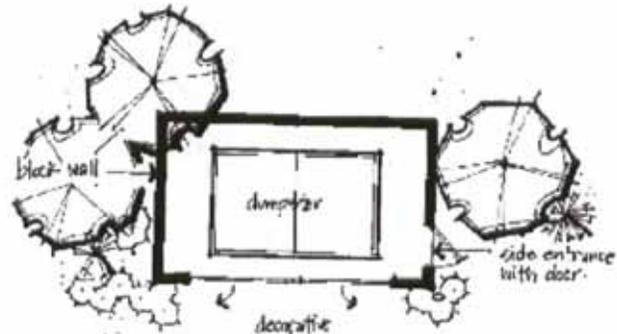
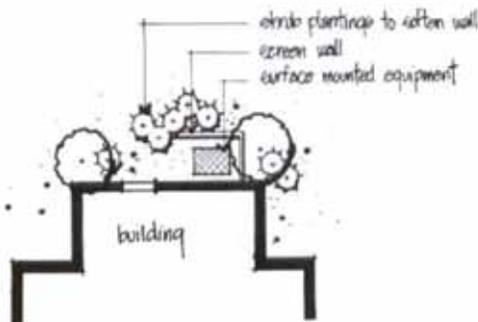
Lots shown (above) have coordinated their layout to maintain continuity of parking areas and building orientation, and also to create more significant natural areas.

Lots shown (right) share a common drive, reducing the number of curb cuts along the street and also share parking and trash enclosure.



Placement of roads and driveways that follow natural topography wherever possible is encouraged to minimize cutting and grading.

Mechanical equipment, loading/unloading areas and utility areas should be screened and located in an area of the site not readily viewed by the public.



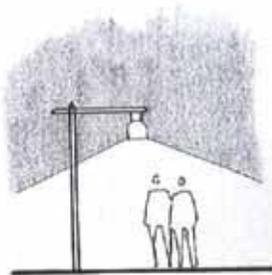
Dark-sky principles should govern the design of all site lighting and signage. Care should be taken to minimize the amount of light spill from structures, including spill from skylights and windows.



Acceptable fixtures shield the source of illumination from the top and side.



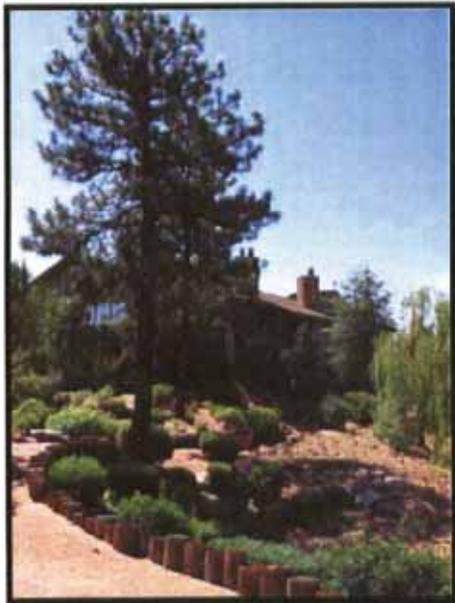
Carriage fixtures that are fully shielded (bulb is located in the upper housing element of the fixture) may be used.



Unacceptable fixtures do not obscure the source of illumination allowing for glare and light trespass.

3. Landscaping

Landscaping should be integral to the overall design concept and should be carefully planned to serve more than one purpose. The landscape design should contribute to the overall appearance and function of the site as well as the streetscape.

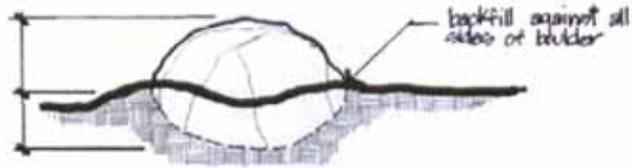


Development should enhance the beauty of the landscape by the preservation of significant natural topographic features, such as rock outcroppings, mature native trees and plants, and floodplains or drainage ways.



Boulders should be "planted" as shown to appear natural.

*2/3 exposed
1/3 bury*



Low water use perennials are encouraged within planter areas.

Trees and plants should be provided against all buildings to anchor them to the site and the surrounding environment and help soften the structure.

Landscaping in all projects should be maintained in a healthy and attractive condition and replaced as needed.

4. Signs

Signs are a means of communication for the convenience of the public. To make them effective; over concentration, improper placement, and excessive size should be avoided.

Signage should be compatible with nearby public and private property and should be an integral component of the style and character of the building(s) to which they relate.



This sign is architecturally integrated with the building through the use of repeating materials, dark-sky compliant through the use of lights recessed under the sign roof, and landscaped appropriately.

Signs on sandblasted rock, engraved wood, and similar creative and distinctive graphics are encouraged.



Non-illuminated, low profile monument style signs are preferred.



The use of channel letters (face lit), or reverse channel letters (halo lit) instead of illuminated box or cabinet style signs is encouraged.



All signs and awnings should be maintained in good repair.

PART II

A. Applicability

1. The Design Review overlay district shall include all property located within the Town of Payson.
2. The following activities occurring within the Design Review overlay district shall obtain Design Review approval prior to the issuance of any grading or building permits or commencement of any construction activity:
 - a. Any construction activity requiring a grading or building permit.
 - b. Modifications to signage or new signage.
 - c. Any exterior painting of a building, fence, wall, or façade.
 - d. Changing of a building façade or roof.
 - e. Removal or modifications to existing landscaping.
 - f. Site modifications including any grubbing, stripping, cutting, excavating, filling, or shaping of the earth, land, soil or material, or removal of vegetation.
 - g. Exterior display or storage of merchandise, goods, supplies, or similar items.
 - h. Construction of or modifications to accessory structures, fences and site walls.
3. The following activities occurring within the Design Review overlay district shall be exempt from Design Review:
 - a. Construction of or modifications to single family detached and two and three family residential units.
 - b. Maintenance of the exterior of an existing structure such as repainting, re-roofing, and re-siding where the same materials and colors are used, so long as those colors and materials were previously in compliance with or approved through the Design Review process.
 - c. Interior remodeling.

PART III

A. Application Procedure

1. Applications for Design Review consideration of any project shall be made on the forms provided by the Community Development Department.
2. All applicants shall arrange a pre-application conference with the Community Development Director or his/her designee prior to the submittal of a Design Review Application Packet.
3.
 - a. The Design Review Board shall review all Design Review applications except minor changes.
 - b. Minor changes shall be reviewed by the Community Development Director or his/her designee.
 - c. Minor changes shall mean any of the following:
 - i. All resurfacing of existing vertical structures
 - ii. All signs that are otherwise in compliance with this Code
 - iii. A building or vertical structure that (1) is an addition or accessory structure to an existing building and does not exceed the lesser of 25% of the existing building floor area or five thousand (5,000) square feet and (2) is complimentary with surrounding properties as well as the existing building.
 - iv. An addition or accessory structure that does not substantially or detrimentally alter the appearance of the site as seen from off-site.
 - v. Additions or expansions of a site, where no vertical structure is involved.
4. All Design Review applications shall be approved or denied within fifteen (15) calendar days from the date of a complete submittal, unless the applicant requests an extension.
5. A design review application shall not be approved unless the applicant demonstrates the following:
 - a. Consistency with the purpose & intent, vision & goals, and principles of the Design Review Overlay District; and
 - b. Compliance with the Development Standards set forth in 15-02-014, PART IV.
6. The Design Review Board or Community Development Director, on a case by case basis, may make exceptions to the development standards set forth in 15-02-014, PART IV to eliminate or mitigate legal nonconforming buildings, signs or other structures or features of the site.
7. Design Review approval, unless otherwise specified in approval conditions, shall be valid for a period not to exceed 18 months from date of approval.

B. Appeals

1. Any applicant aggrieved by a Design Review decision may appeal that decision, provided the applicant submits an appeal in writing within 15 days of the date of the decision. The applicant shall specify in the written appeal any alleged errors in the decision and shall have the burden of demonstrating why the decision was in error.
 - a. An appeal of a decision by the Community Development Director shall be heard by the Design Review Board as soon as is reasonably practicable following receipt of the appeal by the Community Development Department and in accordance with Arizona's Open Meeting Laws.
 - b. An appeal of a decision by the Design Review Board shall be heard by the Town Council as soon as is reasonably practical following receipt of the appeal by the Community Development Department and in accordance with Arizona's Open Meeting Laws.
 - c. In no case shall the date for an appeal hearing exceed 60 calendar days from the date the appeal is received by the Community Development Department, unless specifically requested by the applicant.

C. Maintenance and Enforcement

1. Prior to issuance of a building permit or grading permit the Building Official shall determine that all requirements of the Design Review have been met.
2. The Community Development Director or Director's designee shall insure that all matters are undertaken according to conditions of the approved plans. Noncompliance with the approved plans shall be grounds for stopping work on the project or for denial of a Certificate of Occupancy.
3. Failure to maintain compliance with the requirements of section 15-02-014 shall be subject to enforcement action in accordance with Section 15-10.

PART IV

REGULATIONS AND DEVELOPMENT REQUIREMENTS

A. Commercial Zones/Non Residential in Residential Zones

Architectural Character

1. Building Style

- a. Architectural style shall be appropriate to our small, rural, western, mountain town. Examples of preferred architectural style are provided in Part I, Section C.1.
- b. Blank walls or wall sections shall be limited. Walls exceeding 20 feet in length shall have off sets or other architectural features.
- c. All visible facades shall have similar detailing as and be compatible with any street facing façade of the building.
- d. Building pads or structures, parking areas, and other use areas shall be stepped with the terrain and/or divided into a series of smaller components.
- e. Where applicable, buildings shall be stepped down in height as they approach adjacent, smaller structures.



Encouraged



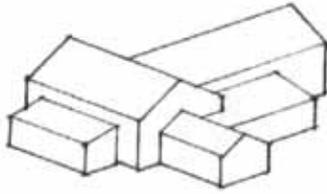
Discouraged

2. Materials

- a. Approved building materials include; wood, stone, faux wood, faux stone, textured architectural concrete masonry, and stucco infill panels framed with other approved materials.
- b. Metal buildings are permitted if they have a façade composed of approved building materials on all visible sides.
- c. Decorative metal such as rails, jambs, trim and limited wall area are acceptable if consistent with the purpose and intent of this section.

3. Roofs

- a. Rooflines shall be offset to create interest. No parapet or ridgeline shall exceed 75% of the linear dimension of the building running parallel to the parapet or ridgeline.



Appropriate: A variation in roof heights add architectural articulation.

- b. Visible facades shall give the impression of a sloped roof.
 - c. Metal roofs (with non-reflective/low reflectance finishes) concrete faux slate and concrete faux wood shingles in natural colors, and architectural 40 year asphalt composition shingles are acceptable.
 - d. Mission style tile and light colored roofs are not allowed.
4. Windows and Doors
- a. Detail such as trim is required at all doorways and around windows.
 - b. Windows and openings shall constitute a minimum of 35% of the area of the first floor entry side, 20% minimum on street sides. (Multi-family residential projects excluded.)
 - c. Contemporary forms, details and materials are discouraged.
 - d. The use of mill finished aluminum windows and door frames is prohibited.
5. Signage
- a. Signs and their supports shall be architecturally integrated with the buildings for which they apply.
 - b. Signs shall be dark-sky compliant.
 - c. All freestanding signs shall include landscaping.
 - d. Outdoor, internally illuminated advertising signs shall either be constructed with an opaque background and translucent letters and symbols or with a colored (not clear, white, cream, off-white, yellow or other light color) translucent background, with either translucent or opaque letters and symbols. (Opaque means only that the material must not transmit light from the internal illumination source.)
6. Colors
- a. Colors utilized for all structures, including non-copy areas of signage, shall have a light reflectance value of 35% or less.
 - b. Glossy or reflective paints or materials are not permitted. Only natural hues and weak chromas of any color will be considered.
 - c. Paint and stain colors shall reflect naturally occurring forest elements, surrounding soil, rock, vegetation or other existing natural features of the site.

Site Character

7. Landscaping
- a. Existing natural landscaping shall be preserved wherever possible, including existing native vegetation in building front, side and rear yard setbacks.

- b. Natural on site rock outcrops and boulders shall be retained, preserved and augmented where feasible.
- c. Any site area not paved or occupied by structures shall be preserved in its undisturbed state or landscaped in a naturally appealing state to provide dust and erosion control and to prevent environmental pollution of the air or waterways.
- d. Landscaping shall be provided at the foot of buildings to soften the transition between paved areas on the ground and building materials on the vertical plane.
- e. Proposed development shall be required to include street trees, boulders and native vegetation within the adjacent rights of way areas. In areas where an adopted streetscape plan is in effect, tree placement and selection shall be in accordance with the respective plan.
- f. Approved landscaping shall be maintained in a healthy condition with adequate watering, fertilization, and grooming in accordance with industry standards.

8. Lighting

- a. "Dark Sky", full-cutoff fixtures that shield the source of illumination are required.

9. Fences, walls, and equipment screening

- a. Fences and walls adjacent to public rights of way shall utilize only permitted building materials.
- b. Fences, walls and screening of mechanical equipment and utility boxes shall be compatible with the building style and shall be an integral part of the overall site design.

10. Parking and Pedestrian Systems

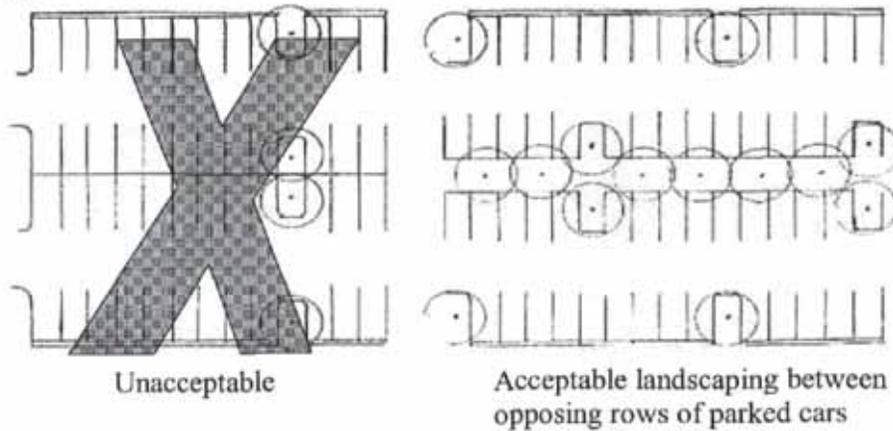
- a. Pedestrian systems shall be clearly defined and differentiated from parking and driveways with different surface texture and/or color.
- b. Pedestrian systems shall connect the pedestrian system along the public right of way to the main entrance of the building.
- c. Parking areas, including temporary parking for fueling, drive-through areas and similar uses shall be screened from public rights of way with hedges, low screen walls, earth berms or other landscaping.



PARKING LOT SCREENING



- d. Planted islands large enough to accommodate trees and low shrubs shall be located at the ends of parking rows, and between opposing rows of parked cars.



- e. Landscape islands within parking areas shall be arranged to protect in place significant native trees over six (6) inches in diameter. Where groves of native trees need to be cleared for parking areas, trees shall be retained within the setback areas of the site and within landscape islands at various locations in the interior of the parking areas.

11. Topography

- a. The topography of the existing site shall be strongly considered in the design of the proposed project. Extensive cutting and/or filling is discouraged. The intended result at completion is for a "natural" looking improvement.



- B. Multifamily Residential Development – The provisions of section A above shall govern.**
- C. Industrial Districts – (Reserved for future use)**
- D. Green Valley Redevelopment Area - The provisions of section 15-02-013F shall govern all properties located within the GVRA Design Review Area as defined by Exhibit # 3 of that section per Ordinance # 645.**
- E. Government Properties and Buildings, Public Utilities – The provisions of section A above shall govern.**

PART V

Cross References

Landscaping and Buffering, U.D.C. Section 15-03

Landscaping and Tree Preservation, Town of Payson Code of Ordinances Title XV,
Chapter 153

Parking and Loading, U.D.C. Section 15-04

Signs, U.D.C. Section 15-05

Grading & Drainage, Town of Payson Code of Ordinances Title XV, Chapter 152

Town of Payson Native & Low Water Use Plant List

15-02-013: Special Plan District - Green Valley Redevelopment Area

F. Design Review:

1. For Purpose, Intent, Applicability, Exemptions, Application, Review, and Appeals, see Section 15-02-014 (Design Review Overlay District).
2. Review Criteria
 - a. Site Layout:
 - (1) Orientation & location of buildings and landscaped areas in relation to physical characteristics of the site, neighborhood character, and the appearance and harmony of adjacent buildings
 - (2) The comfort and safety of the proposed pedestrian system
 - b. Architectural Character:
 - (1) Suitability of the building for its intended use
 - (2) The consistency of the applications of the design with approved design guidelines
 - (3) The compatibility of the character of the design with adjacent structures and the intent of these regulations
 - (4) Preservation of historical structures
 - c. Landscaping:
 - (1) The location, height and material of walls, fences, hedges, trees, and xeriscape to ensure harmony with the overall atmosphere and ambiance of the area and the intent of these regulations
 - (2) The planting of groundcover to prevent dust and erosion
 - (3) The preservation of healthy trees
 - (4) Open, pedestrian friendly landscaping
 - d. Outdoor Signage:

The number, location, color, size, lighting, and landscaping of outdoor advertising signs in relation to pedestrian and vehicular traffic and appearance and harmony with the existing adjacent structures, and the intent of these regulations
 - e. Overall Compliance with Development Standards:

The Design Review Board or the Community Development Director, on a case by case basis, may make exceptions to Section 3, Development Standards due to unique characteristics of the site or economic hardship to the applicant.
3. Development Standards:
 - a. Pedestrian and Vehicular Circulation
 - (1) Circulation patterns shall be obvious and simple. All likely pedestrian routes should be considered in the design phase to eliminate "short cuts" that damage landscaped area
 - (2) Circulation systems shall avoid conflicts between vehicular, bicycle and pedestrian traffic.

- (3) New driveways should be sited away from or immediately opposite street intersections.
- (4) Where pedestrian routes cross vehicular routes the following shall be provided: a change in grade, materials, textures, or colors.
- (5) Pedestrian systems shall be provided to the front entrance.
- (6) Bicycle parking facilities may be substituted for automobile parking spaces required at a ratio of five (5) bicycle spaces for one required vehicle parking space. A maximum of 5% of the total required parking spaces may be reduced.
- (7) Bicycle parking facilities shall include provisions for locking of bicycle in secure racks. Bicycle spaces shall be as convenient as the most convenient auto space.

b. Building Setbacks

- (1) Buildings shall be placed on the front property line except where buildings on adjoining lots have larger setbacks. Where adjoining buildings have a larger setback, the required setback shall be the average setback for the adjoining buildings.
- (2) Zero front setbacks are required between McLane Road and the proposed Westerly Street extension on Main Street.
- (3) Where no side setback is provided wall construction must be 2 hour fire rated, and the roof must not drain onto adjoining property.
- (4) Rear setback is not required except when the adjoining property is residential. Where this occurs a case by case review will determine appropriate setbacks that are compatible with the adjoining properties.
- (5) Overhead structures such as porches and balconies shall be placed on the front property line except where adjoining structures have larger front yards.

c. Parking Facilities

Parking facilities shall be located at the rear of the property where feasible, and must be landscaped and screened. Parking shall not be provided between the public sidewalk and the front of the building.

d. Multiple Buildings

Multiple buildings for the same project shall be designed to create a cohesive visual relationship between buildings.

e. Driveways

- (1) Shared driveways are encouraged
- (2) There shall be a maximum of one driveway per lot or parcel except where the lot has more than one hundred (100) feet of frontage, where additional driveways may be considered.

f. Structural Design

(1) Architectural Features:

- (a) Architectural design shall be compatible with the character of the area. Design compatibility shall include

- complimentary building style, form, size, color, and materials.
- (b) Diversity of architectural design shall be encouraged utilizing the preferred architectural designs in the appendix "A".
 - (c) Detail is required at all doorways and around windows that front on the street or visible side walls.
 - (d) Rough sawn wood reflecting "pioneer" look is encouraged.
- (2) Building Materials:
- (a) The preferred building materials include wood, stone, brick, and adobe. Stucco and synthetic materials may be considered.
 - (b) Metal buildings are permitted if they have a facade composed of appropriate building materials as specified in item (1) above on all visible facades.
- (3) Building Colors:
Exterior colors shall be selected from the color board, Historic Colors of America. Trim and body colors shall be complimentary.
- (4) Building Height:
- a. Buildings fronting on Main Street within the historic study area shall not exceed two stories nor a height of thirty-two (32) feet above grade.
 - b. All other buildings shall be subject to the restrictions as set forth in section 15-02-003 A.1.b.
- (5) Roof Design:
- (a) Approved roof materials include galvanized and colored metal, or dimensional asphalt shingles. Noncombustible wood shake or composite material will be reviewed on a case by case basis. No wood shingles are permitted due to fire hazard.
 - (b) Only gabled, hipped, front sloped (shed), or back sloped roofs with boomtown facades are permitted.
- (6) Facade Treatment:
- (a) In the areas of restoration/rehabilitation concealing the original facade should be avoided.
 - (b) Storefront restoration shall return the facade to its original character as much as is reasonably possible and appropriate and meets design review requirements.
 - (c) Reflective or mirrored glass is prohibited. Tinted glass shall comply with Arizona Standards of 30% maximum reduction of transparency.
 - (d) A minimum of 35% of the front first floor of the building shall be windows or doors.
 - (e) No new building or remodeling of an existing building shall use mill finished aluminum windows or door frames.

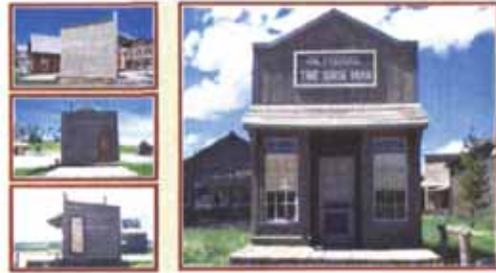
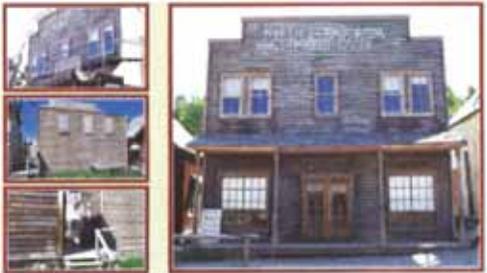
- (f) Glass block windows visible from public walk ways are prohibited.
 - (g) Where space exists between adjacent buildings, this area shall be landscaped or screened from public view.
- (7) Side Walls:
- (a) Blank or solid walls or wall sections shall be limited to prevent the disruption of existing architectural patterns and to discourage an undesired street environment.
 - (b) Side facades, if visible from public streets or rights of way or adjacent property, should be carefully designed with similar detailing and should be compatible with the principle facade of the building.
 - (c) Visible blank or solid walls will be limited to no more than a 20 foot section of wall without required breaks or other changes.
- (8) Signage:
- (a) Signs shall conform to the adopted UDC, except as provided in this section.
 - (b) No roof sign shall be permitted except where significant grade change exists from the building site to the roadway.
 - (c) Signs may be placed on the Boomtown frontispiece.
 - (d) Portable freestanding signs are permitted on Main Street. These signs must not exceed three (3) feet in height, six (6) square feet on each face, and must not obstruct pedestrian ways or cause line of sight problems. Only one per parcel is allowable.
 - (e) Freestanding signs shall not exceed sixteen (16) square feet, and must be low profile.
 - (f) Colors must be used from the approved color board.
 - (g) Signs must be properly maintained.
 - (h) Signs should be architecturally integrated with their surroundings in terms of size, shape, color, texture, and lighting.
 - (i) Signs should not be in visual competition with each other.
- (9) Lighting:
- (a) The lighting plan will conform to the adopted UDC regulations. Colored lighting is allowed but shall not spill over onto adjacent properties, nor be the primary lighting theme, nor contain moving or streaming lights or components.
 - (b) Lighting fixtures shall be historically appropriate to the area.
- (10) Utility Areas:

- (a) Mechanical equipment shall be screened and sound attenuated, using approved building materials. Preferred location is the rear of the building.
 - (b) Utility areas, such as trash receptacles, storage areas, service yards, and loading/unloading areas, shall be screened from public view with approved building materials.
- (11) Landscaping
- (a) Landscaping shall soften the visual appearance of the site and provide a pedestrian friendly environment.
 - (b) Any planting within the rights of way shall not create a line of sight nuisance, or be a nuisance to pedestrian and vehicular traffic in any way.
 - (c) All undeveloped areas, within public view, shall be landscaped.
 - (d) Use of deciduous shrubs and trees as shown in the Town of Payson plant list shall be used.
 - (e) Planter boxes are encouraged for flowers.
- (12) Hard Scape
- (a) This includes colors, textures, and materials selected for walkways, patios, and other ground plane enhancements.
 - (b) Materials shall not impede accessibility to those with a disability.
 - (c) The texture and color of hardscape should clearly differentiate between driveways, parking facilities, and those areas used by bicyclists or pedestrians.
 - (d) Stone, brick, colored concrete, pavers, covered boardwalks, and concrete finishes are acceptable. Synthetic materials may be considered.
- (13) Street Furniture
- (a) Street furniture shall be of design and character consistent with municipal street scape elements.
 - (b) Plastic elements are not permitted.
- (14) Fences and Walls
When adding fences and walls, the building materials shall comply with the approved building materials in this ordinance.
- (15) Overhead Structures
- (a) Overhead structures are required on the façade of the ground floor.
 - (b) A minimum of seven (7) feet vertical clearance is required for overhead structures.
 - (c) Overhead structures are devices installed on the building facade or freestanding to provide shade and protection to pedestrian areas and display windows. This can include

porches, colonnades, trellises, pergolas, canopies, awnings
and recessed doorways.

4. In the event of a conflict between section 2 and section 3 above, the provisions of section 3 shall govern.

EXHIBIT "B"
ARCHITECTURAL STYLES
(Encouraged)





Town of Payson
Design Review Application
 (Please complete ALL fields unless otherwise noted)

Community Development Department
 303 N. Beeline Hwy
 Payson, AZ 85541
 Tel: (928) 474-5242 Fax: 928-472-7490
 www.ci.payson.az.us

Site/Project Address (if available)		Parcel #	
Owner:	Owner Phone:	Email:	
Address:		City/State/Zip:	
Engineer/Contractor:		Phone:	
Address:	Email:	City/State/Zip:	License # (if applicable)
Contact Person:	Phone:	Fax:	
Contact Email:	Address:		

Description of Project: _____

Submittal Materials Required

Two 24" X 36" sets and seven 11" X 17" sets of each of the following unless otherwise noted;

- Completed Town Design Review Application/Checklist (This form).
- Architectural Site Plan
- Preliminary Grading & Drainage plan
- Survey
- Landscape/hardscape Plan
- Exterior Elevations
- Floor Plans
- Building Section(s)
- Roof Plan – if required by Planning Staff
- 1 colored print of all 4 exterior elevations (coordinated with color board)
- 1 copy of color and materials information with labels, mounted on 8 1/2" X 11" card stock
- Sign package
- Project Narrative
- Photographs of existing site
- Cut Sheets for proposed light fixtures – include finishes
- Lighting plan

Please explain below if any fields have intentionally been left blank.

Do not write below this line. For departmental use only.

Received By _____	Date: _____	Review: PLN _____	BLDG _____	FIRE _____	PW _____
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Exhibit A

PART IV

REGULATIONS AND DEVELOPMENT REQUIREMENTS

D. Historic "Main Street" Payson

In addition to the provisions of Part IV, subsection A, the following provisions shall apply to the front 200 feet of all lots fronting on W. Main Street from Oak Street to Highway 87 (as shown below).

Vision

Historic old town Payson's "Main Street" was the unique area of 1890-1930's Payson center of commerce and social activity. With this significant history, it is the intent and vision of these guidelines to encourage a rebirth, with economic vitality to the historic Main Street's pre-1930's era aesthetic and spirit of old Payson.



Purpose

The purpose of these guidelines is to ensure development is in harmony with the vision of old town Payson's historic "Main Street" as a destination experience. This will be accomplished through new and remodeled pre 1930's building facades, pedestrian and retail-friendly streetscapes with tree-lined boulevards and land planning that promotes this special sense of place. Building facades, street furniture, landscaping, public and private graphics, all with historic Main Street era elements will encourage this rebirth of Payson's Historic "Main Street."



Historic Main Street Design Review Area

Architectural Character

1. Building Style
 - a. Suitability of the building for its location on Historic Main Street will be considered.
 - b. Buildings shall reflect historic old Main Street era design and shall be compatible with adjacent structures and the intent and purpose of these regulations.
 - c. In the areas of restoration/rehabilitation concealing of the original façade should be avoided.
 - d. Overhead structures, with a minimum of 8 feet vertical clearance are required on the façade of the ground floor. Overhead structures are architectural features incorporated into the building façade, an embellishment of the building that provides visual interest, shade, and pedestrian comfort and protection. Overhead structures should be used to incorporate historic old Main Street era architecture. (See Appendix D)
 - e. The architectural design shall be historically themed and shall be compatible with the historic area aesthetic. Design compatibility shall include complimentary building style, form, scale, size, colors and materials.
 - f. Diversity of architectural design of that pre-1930's traditional Main Street era is encouraged. (See examples Appendix D)
 - g. Reveals are encouraged at all doorways and windows that front on Main Street. Reveals are also encouraged at side and rear walls visible from Main Street.
2. Materials
 - a. Rough-sawn wood, stone and pre 1930's historic old Main Street era materials reflecting the "pioneer" look are encouraged. Faux representative materials will be considered. (See Appendix D)
 - b. Reflective, mirrored glass, and glass block windows are prohibited.
3. Roofs
 - a. Gabled roof, shed roof, or boomtown facades are required.
4. Windows and Doors
 - a. Windows and openings shall constitute a minimum of 50% of the area of the first floor on fronting Main Street. Where occupancy dictates, a lesser percentage may be considered by the Design Review Board.
5. Signage:
 - a. All new and replacement signs within the Historic Main Street corridor shall promote the image of historic Main Street, approximately 1890 through 1930, when Main Street was the center of commerce in Payson. By recreating the visual impact of the graphics of the time at an affordable cost, the street image will change without incurring the more costly, in both time and dollars, building façade replacements or new developments. Town of Payson standardized Street signs, public information signs and address signs as well as the individual private business signs shall be designed and installed to promote the early 1900's streetscape graphic visual. (See examples Appendix D)
 - b. Historic oversize Main Street signs will be considered on a case by case basis. Photographic historical examples submitted with the applicant's proposal will weigh in

the evaluation of the applicant's proposed oversized signs. Maximum increase in the size of an oversized sign is 100%.

- c. Boomtown facades with an oversized sign field are encouraged.
- d. Shed Roof covered walkways with individual proprietor's signs are encouraged. Several examples of this aesthetic and graphics are evidenced in historical photographs. (See Appendix D)
- e. All new signs should utilize the Payson area indigenous stone, wood aesthetic to the greatest degree feasible. The sign supports and field materials and colors should reflect the mountain forest environment with bright colors limited to use in the graphics.
- f. All new building signs shall be applied on, affixed to or supported by the "front" street facing façade of the building only. Other sign types/styles considered will be freestanding monument signs, freestanding pole/arm placard signs, temporary portable event signs.
- g. Prohibited sign materials/components include neon, vacuum-formed, and internally illuminated or back-lit light cans.

Site Character

- 6. Colors (No Additional Requirements-see Part V, Subsection A.)
- 7. Landscaping
 - a. Any area between adjacent buildings shall be landscaped or screened from public view.
 - b. Landscaping shall compliment the old Main Street image and provide a pedestrian-friendly environment.
 - c. Window planter boxes, hanging baskets, and ground containers are encouraged for flowers.
 - d. Colors, textures and materials selected for walkways, patios and other ground plane enhancements shall emulate historical materials and shall be pedestrian friendly.
 - e. Street furniture shall be historically themed and of design and character consistent with Town streetscape elements.
- 8. Lighting
 - a. Lighting fixtures shall appropriately reflect the historic Old Main Street era. (See examples Appendix D)
- 9. Fences, walls, and equipment screening
 - a. Fences, walls and screening for mechanical equipment shall comply with the approved building materials and be compatible with the project.
 - b. Fences and walls shall be historically themed.
 - c. Utility areas, trash receptacles, storage, service and loading/unloading areas should be located at the rear of the site and shall be screened from public view with approved materials.
- 10. Parking and pedestrian systems
 - a. Parking may not be placed forward of the building face on any portion of the lot with street frontage.
 - b. Shared driveways are encouraged. (Shall be utilized where feasible.)

- c. One driveway per lot is allowed. When necessary a second driveway may be considered.
 - d. Circulation patterns shall be safe and obvious. Pedestrian routes should promote window shopping.
 - e. Where pedestrian routes cross vehicular routes the following shall be provided: a change in grade, materials, textures or color delineation.
 - f. Bicycle parking facilities are encouraged and shall include provisions for locking of bicycles in secure racks.
11. Building Setbacks
- a. Zero front yard and street side yard setbacks are allowed.
12. Overall Compliance with Development Standards:
The Design Review Board, on a case by case basis, may make exceptions to the standards set forth in Subsection D, Historic "Main Street" Payson, due to unique characteristics of the site.

Exhibit B

PART III

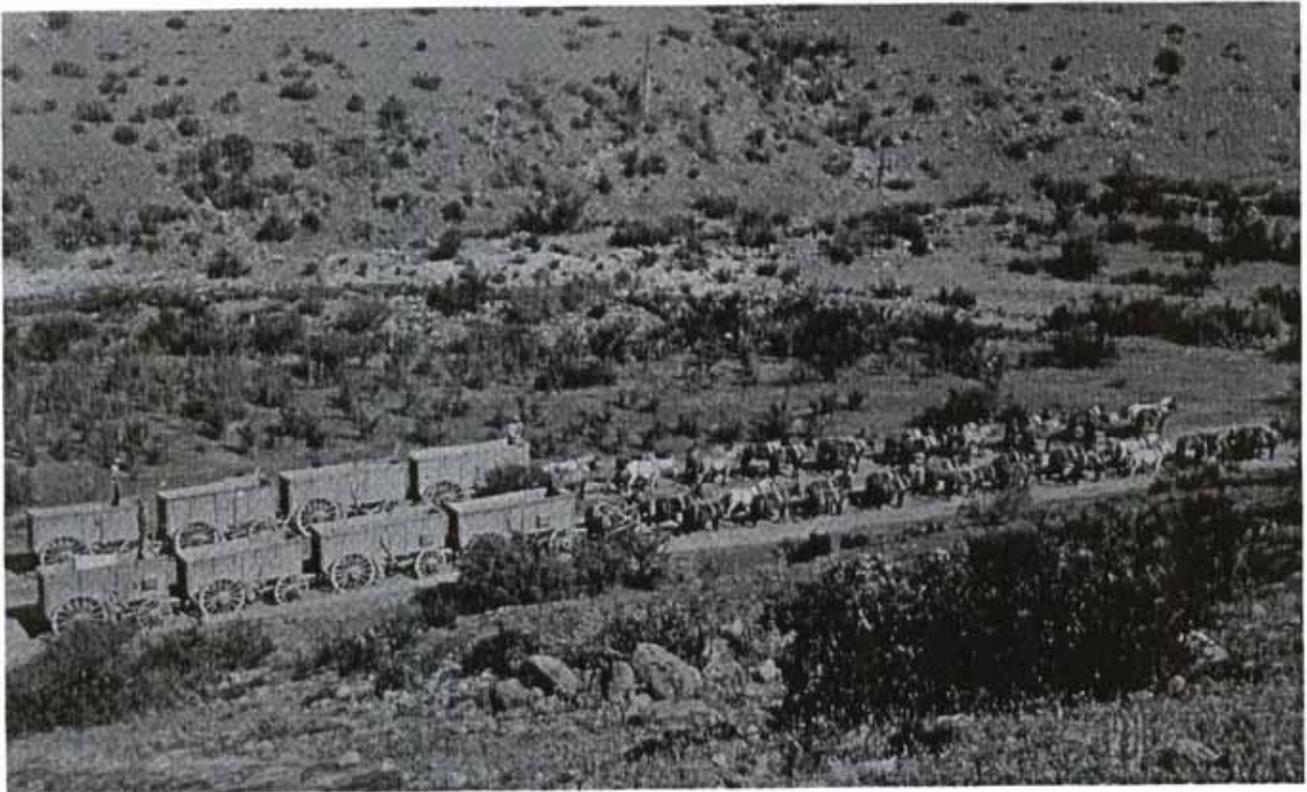
A. Application Procedure

1. Applications for Design Review consideration of any project shall be made on the forms provided by the Community Development Department.
2. All applicants shall arrange a pre-application conference with the Community Development Director or his/her designee and a Design Review Board representative prior to the submittal of a Design Review Application Packet. If a project lies within the Green Valley Redevelopment Design Review area, the pre-application conference shall include a Green Valley Redevelopment Area Committee representative.
3.
 - a. The Design Review Board shall review all Design Review applications except minor changes.
 - b. Minor changes shall be reviewed by the Community Development Director or his/her designee.
 - c. Minor changes shall mean any of the following, except for those properties within the Historic Main Street Design Review Overlay District:
 - i. All resurfacing of existing vertical structures
 - ii. All signs that are otherwise in compliance with this Code
 - iii. A building or vertical structure that (1) is an addition or accessory structure to an existing building and does not exceed the lesser of 25% of the existing building floor area or five thousand (5,000) square feet and (2) is complimentary with surrounding properties as well as the existing building.
 - iv. An addition or accessory structure that does not substantially or detrimentally alter the appearance of the site as seen from off-site.
 - v. Additions or expansions of a site, where no vertical structure is involved.
4. All Design Review applications shall be approved or denied within fifteen (15) calendar days from the date of a complete submittal, unless the applicant requests an extension.
5. A design review application shall not be approved unless the applicant demonstrates the following:
 - a. Consistency with the purpose & intent, vision & goals, and principles of the Design Review Overlay District; and
 - b. Compliance with the Development Standards set forth in 15-02-014, PART IV.
6. The Design Review Board or Community Development Director, on a case by case basis, may make exceptions to the development standards set forth in 15-02-014, PART IV to eliminate or mitigate legal nonconforming buildings, signs or other structures or features of the site.

Exhibit C

Appendix D

Historic “Main Street” Payson



This photo is representative of early Payson's lifeline – the freight wagon train

Appendix D

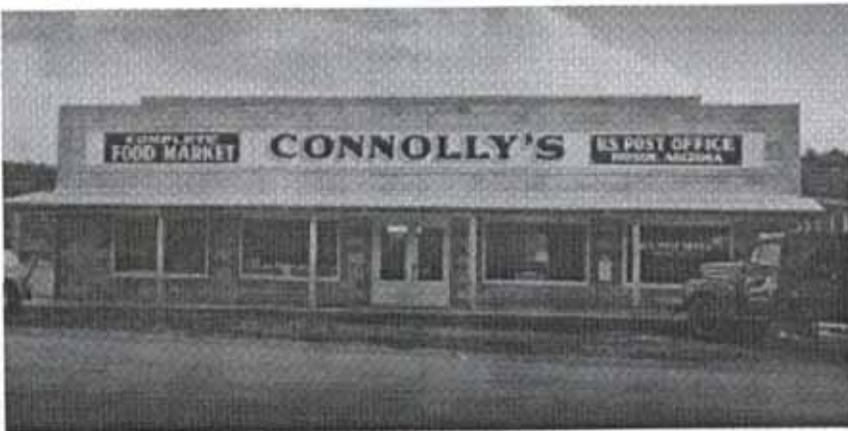
Architectural Character



Boom Town Fronts



Typical Overhead Structure

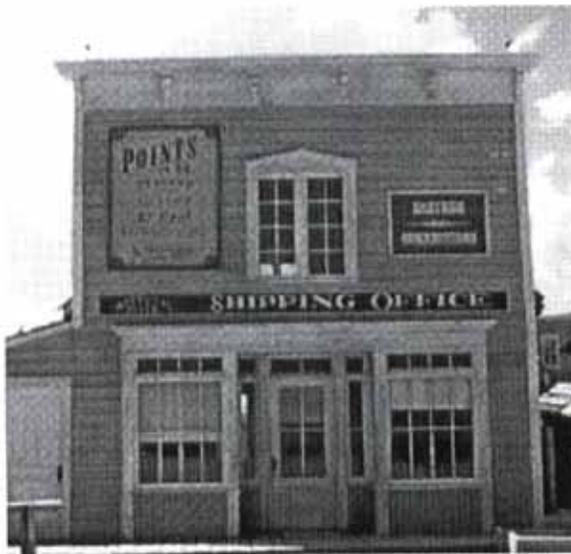
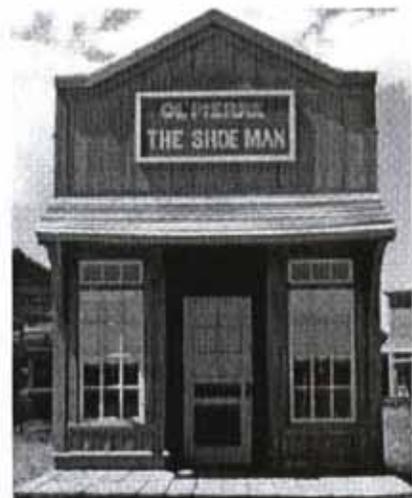


A Main Street Improvement

Mid '50s

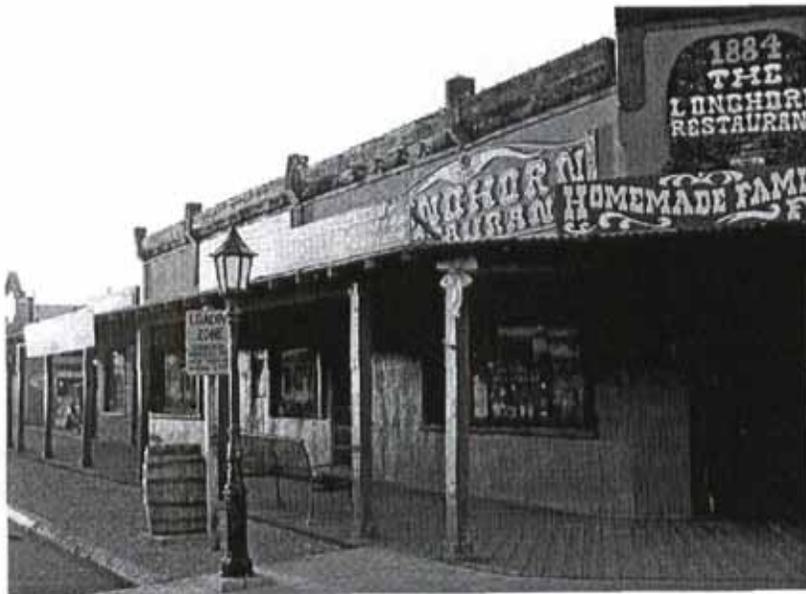
Appendix D

Examples of Preferred Design for Windows & Doors



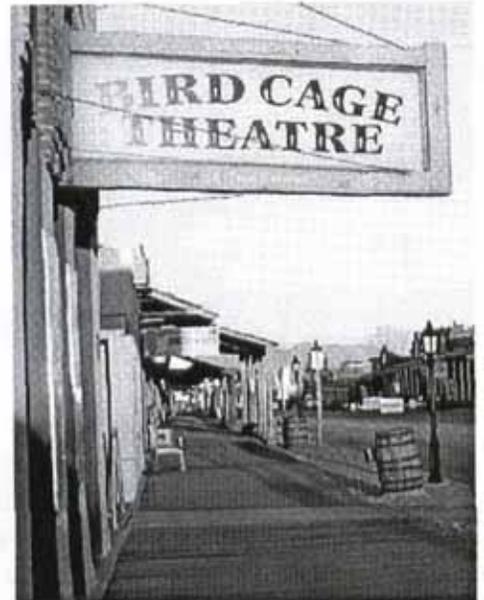
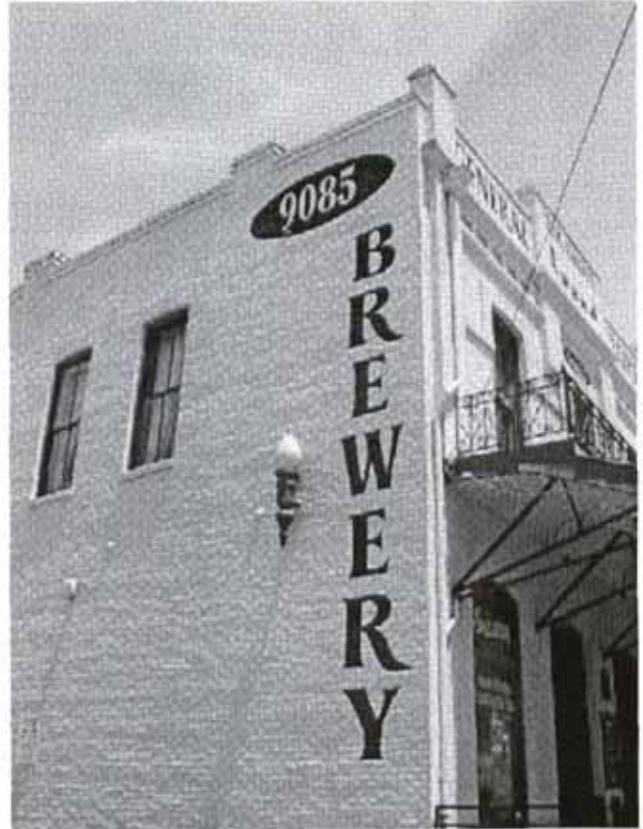
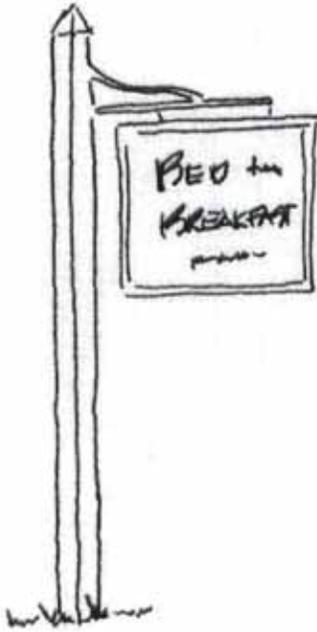
Appendix D

Examples of Typical
Overhead Structures



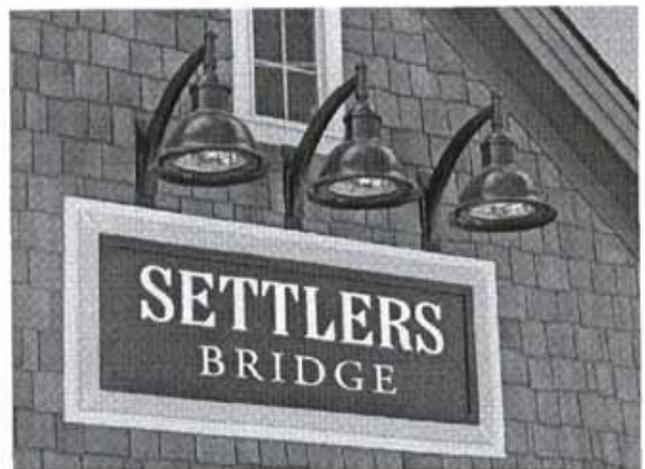
Appendix D

Signage



Appendix D

Lighting Fixtures



Appendix D

Examples of Pioneer Look

Materials and Grammar



**TOWN OF PAYSON
PLANNING AND ZONING COMMISSION OR
BOARD OF ADJUSTMENTS APPLICATION**

The undersigned Applicant(s) hereby applies for:

- | | |
|--|--|
| <input type="checkbox"/> Abandonment Request | <input type="checkbox"/> General Plan or Land Use Plan Amendment |
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Minor Land Division |
| <input checked="" type="checkbox"/> Code Amendment | <input type="checkbox"/> P & Z Commission Appeals |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Subdivision Plat |
| <input type="checkbox"/> Development Master Plan | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Devel. Agreement, PAD & SPD | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Zone Change |

May, 2007

Project Address: GREEN VALLEY PEDEL. AREA / MAIN STREET Tax Parcel Number: N/A
 Subdivision: N/A Lot Number: N/A
 Name of Applicant(s): TOWN of PAYSON Phone #: 928-474-5242
 Mailing Address: 303 N. BEEHIVE HWY Town: PAYSON St: AZ Zip: 85541
 Name of Property Owner(s): N/A
 Mailing Address: N/A Town: _____ St: _____ Zip: _____
 Contact Person: KAY ERLANDSEN Phone #: 928-474-5242 Fax #: 928-472-7490
 Payson Business License #: N/A Sales Tax #: N/A

Detailed Description of Request:
THE AMENDMENT TO UNIFIED DEVELOPMENT CODE (UDC) PURSUING THE GVRA DESIGN REVIEW OVERLAY DISTRICT.

(Note: Additional Description area can be included in an attachment)

Certification: I hereby certify that the data submitted on or with this application is true and correct, that I am the Owner of the property at this address, or that for the purpose of obtaining this approval I am an authorized agent in his behalf.

KAY ERLANDSEN Print Name [Signature] Signature 6-15-09 Date

STAFF USE ONLY - PERTINENT DATA			
APPLICATION	DATE	INITIALS	APPLICATION FEE:
DATE FILED	6-15-09	[Initials]	TOWN INITIATED
COMPLETED APPLICATION	7-7-09	[Initials]	
NEWSPAPER PUBLICATION	6-26-09	[Initials]	
300' NOTIFICATION MAILOUT	N/A		
POSTING DATE	6-22-09	[Initials]	CHECK NUMBER: _____ DATE: _____

RECOMMENDATION	DECISIONS
By: _____ Date: _____	By: _____ Date: _____