



MEMO

TO: Planning and Zoning Commission

FROM: Sheila DeSchaaf, AICP
Zoning Administrator

DATE: September 12, 2011

SUBJECT: **Unified Development Code Amendment, Section 15-02-014**
Design Review – Multifamily Uses

P11-004

Background

The Town of Payson Design Review Board was established in 2007 with the responsibility “to review all existing Town Design Review guidelines and recommend to the Town Council any changes, amendments, deletions or additions to such Design Review guidelines. During such review the Board shall, following citizen input, specifically consider separate Design Review guidelines for multifamily, commercial, and industrial development.” The latest of those recommended amendments would create separate Design Review provisions for multifamily districts (R2, R3) and multifamily projects. Currently, the provisions of Part IV, A. - Commercial Design Review Overlay Standards govern multifamily residential development.

Analysis

Attached is the Board’s recommendation for amendments to Section 15-02-014 Design Review Overlay District, PART IV. The attached amendments received approval (7-0) at the Board’s July 26, 2011 meeting. As these changes are to the Unified Development Code (UDC) the first public hearing is before the Planning & Zoning Commission.

Motion

If the Commission agrees with the proposed revisions, an acceptable motion could be:

“I move the Planning and Zoning Commission recommend to the Town Council approval of P11-004, an amendment to the Unified Development Code Section 15-02-014-Design Review Overlay District, creating design guidelines for multifamily residential uses as outlined in the attached exhibits.”

Attachments: Exhibit A-Proposed amendments to be included in § 15-02-014 PART IV
Exhibit B-UDC §15-02-014 Part IV current Design Review Guidelines

PART IV
REGULATIONS AND DEVELOPMENT REQUIREMENTS

B. Multi-Family Development

Architectural Character

1. Building Style
 - a. Avoid box-like forms with large, unvaried roofs by using a variety of off-set building forms.
 - b. Façades of horizontal buildings shall contain off-sets representing smaller components.
 - c. Architectural style shall be appropriate to our small, rural, western, mountain town.
2. Materials
 - a. Select building materials and colors that are complementary to the surrounding area, and mountain communities. See provisions under subsection 6. *Colors* (below).
 - b. Approved building materials include wood, stone, faux wood, faux stone, textured architectural concrete masonry, and stucco infill panels framed with other approved materials.
3. Roofs
 - a. Rooflines shall be offset to create interest. No parapet or ridgeline shall exceed 75% of the linear dimension of the building running parallel to the parapet or ridgeline.
4. Windows and Doors
 - a. Detail such as trim is required at all doorways and around windows.
 - b. The use of mill finished aluminum windows and door frames is prohibited.
5. Signage
 - a. Signs and their supports shall be architecturally integrated with the building's style for which they apply.
 - b. Signs shall be dark-sky compliant.
6. Colors
 - a. Colors utilized for all structures, including non-copy areas of signage, shall have a light reflectance value of 35% or less.
 - b. Paint and stain colors shall reflect naturally occurring forest elements, surrounding soil, rock, vegetation or other existing natural features of the site.

Site Character

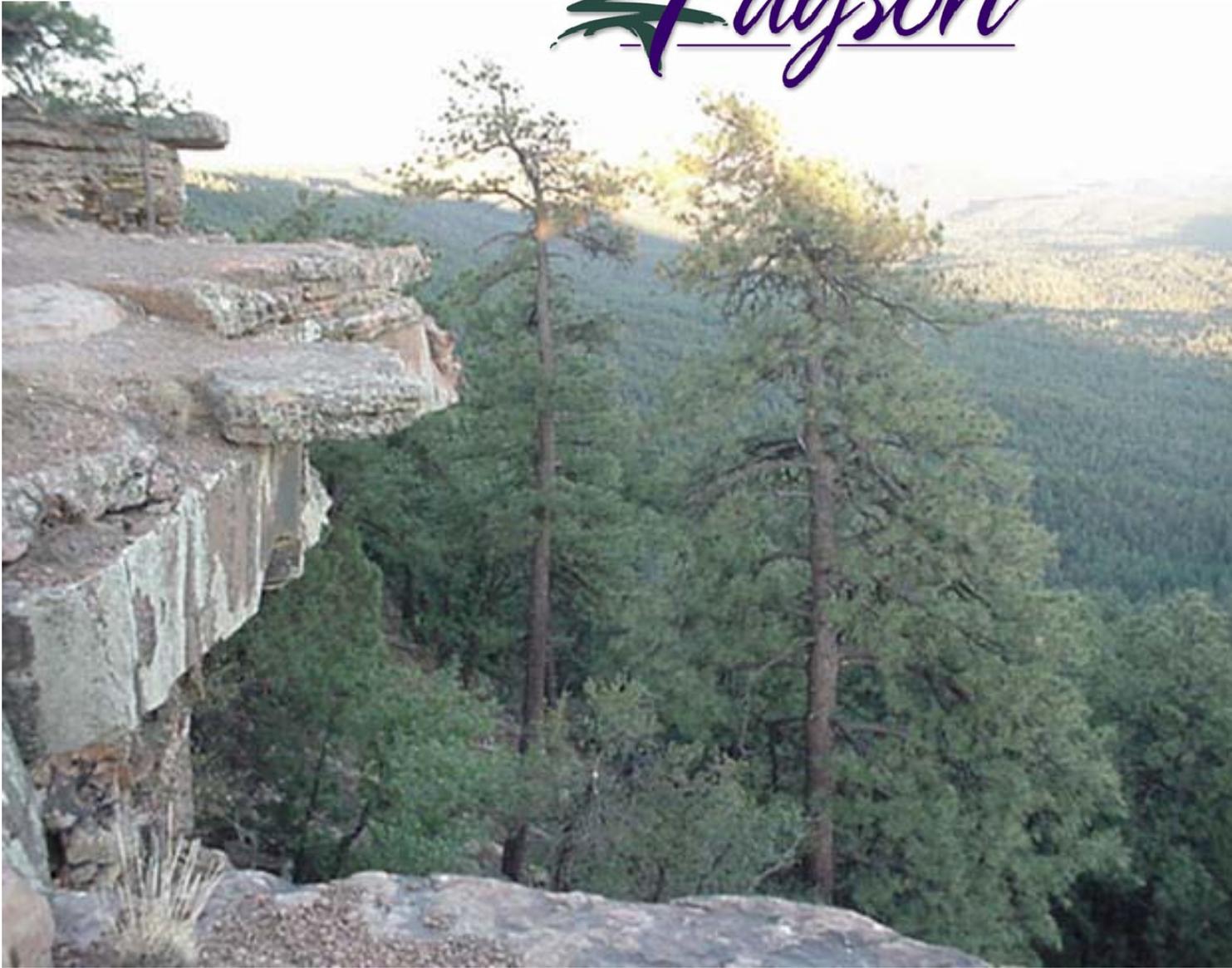
7. Landscaping
 - a. Plant trees and shrubs to soften the overall impact of parking areas and to provide shade and noise reduction.
8. Lighting
 - a. Dark-sky requirements shall govern the design of all exterior building lights, site lighting and signage.

9. Fences, walls and equipment screening
 - a. Fences and walls adjacent to public rights of way shall utilize only permitted building materials.
 - b. Fences, walls and screening of mechanical equipment and utility boxes shall be compatible with the building style and shall be an integral part of the overall site design.

10. Parking and Pedestrian systems
 - a. Place parking lots at rear or side of the site to allow a majority of dwelling units to front.
 - b. Provide pedestrian accessibility to adjacent uses with passageways, gates and pedestrian walkways.
 - c. Pedestrian systems shall connect the pedestrian system along the public right of way to the main entrance of the building(s).

11. Topography
 - a. The topography of the existing site shall be strongly considered in the design of the proposed project. Extensive cutting and/or filling is discouraged. The intended result at completion is for a “natural” looking improvement.

12. Building Placement, Setback, Orientation, Common Areas
 - a. Relate buildings to the street and locate them on the site so that they reinforce street frontages.
 - b. Relate buildings to existing and planned adjacent uses.
 - c. Maintain existing setback patterns.



Design Review Manual

Ordinance No's. 746, 769, 801
Resolution No's. 2410, 2502
12.11.2008, 08.20.2009, 03.17.11

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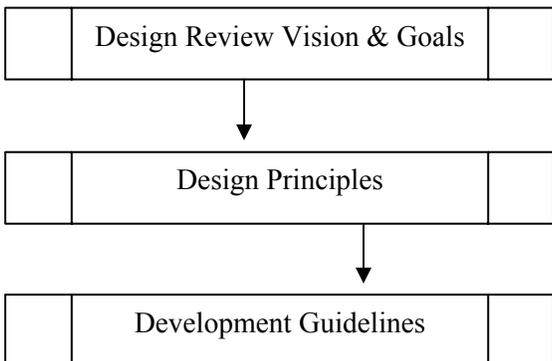
PART I

A. Purpose & Intent

1. The purpose of Design Review is to encourage:
 - a. Preservation and enhancement of property values;
 - b. Enhancement of public safety;
 - c. Promotion of pedestrian safety and comfort;
 - d. Preservation of natural landscaping and significant natural features;
 - e. Preservation of our quality of life; and
 - f. Enhancement of the aesthetic environment.
2. The Town desires to preserve the mountain, forest character of its small, rural community and highly values:
 - a. Natural, indigenous building materials, textures and colors that blend with the environment and are compatible with our natural surroundings;
 - b. Structures and layouts that compliment pedestrian systems;
 - c. Non-contemporary, traditional western style, mountain character building forms; and
 - d. Native landscaping and preservation of significant features, such as mature tree growth, rock outcrops, and view sheds.

B. Vision & Goals

1. The design review process is intended to provide the Town with an orderly aesthetic growth pattern in keeping with the cultural and historic foundations of the Town of Payson. Indigenous building materials used by the prehistoric builders and early settlers in the Payson region included the use of the abundant stone and wood timber of the area. These natural materials remain a favorite for use in construction within our community today, thus providing an aesthetic bridge between the past and our promising future as we continue to grow at the edge of the world’s largest Ponderosa Pine forest.
2. The goals of Design Review include:
 - a. Preservation of the mountain, forest character and heritage of the Town of Payson;
 - b. Encourage the use of non-contemporary, rustic style buildings;
 - c. Ensuring development is appropriate in terms of scale within the Town and relative to the vicinity of the site.



All proposals should strive to meet the vision and goals of design review and address the appropriate design principles. Development guidelines help ensure the established design principles are incorporated into each project and that all new development contributes to the design review vision.

C. Design Principles

Payson's Design Principles are centered around the belief that development should respect the unique climate, topography, vegetation and historical context of Payson's natural forest and mountain environment. These characteristics help sustain our community, its attractiveness as a tourist destination, and its quality of life. These Design Principles are the essence of and foundation for the guidelines described in this Design Review Manual.

1. Architectural Character



Building style should reflect Payson's mountain look and western heritage.



Structures should enhance the human level of commercial developments and respect the scale and character of the Town and adjoining areas.

Materials should compliment the mountain, forest environment through the use of abundant stone and wood.





Sloped roofs having a minimum two foot overhang are encouraged.



Natural, subdued, mountain brown and forest green colors are encouraged.

On painted structures, contrast between trim and body colors is encouraged.

Palette and colors should reflect the predominant natural subdued color of the mountains and the forest.



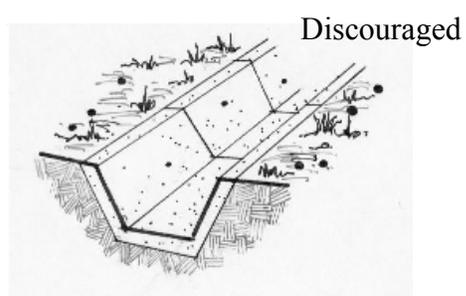
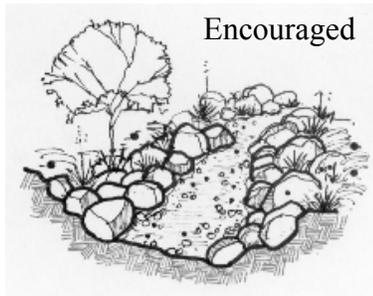
Franchise businesses may need to modify corporate prototypes to fit the character of Payson.

The use of good site planning and design, landscape architecture and civil engineering that enhances the existing and future appearance of development areas is highly valued.

Development and layout of buildings at this site (right) preserved the stand of existing Ponderosa Pine trees in a meaningful open space area, which also doubles as a detention area.



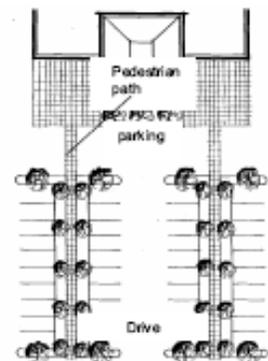
Areas for retention or detention should maintain existing native plants on the site and be landscaped with appropriate materials and integrated into the overall design and layout of the development.

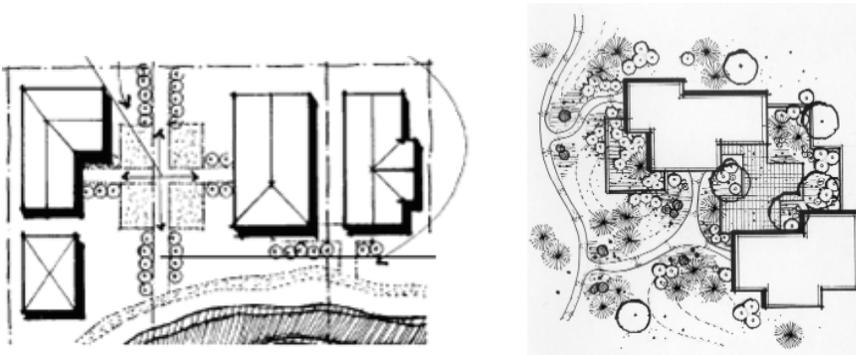


A strong pedestrian connection should be provided from the building to public walkways, and area wide Payson Area Trails System, where applicable.



Walkways should be defined to provide clear, convenient routes through parking lots to building entrances.



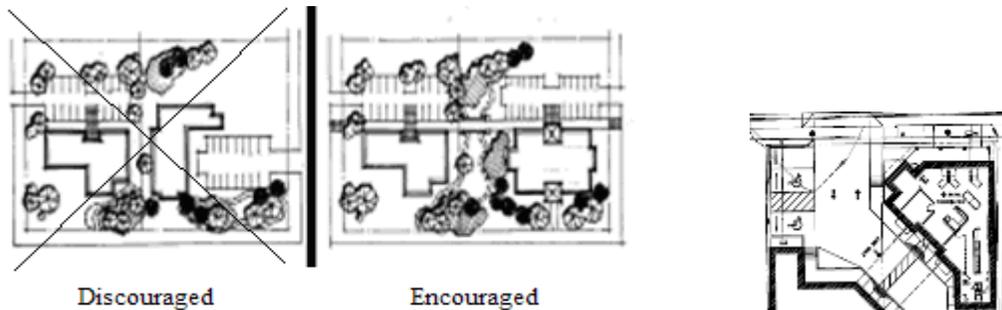


The pedestrian ways shown (left) link adjacent developments and connect to public trails and walkways.

Meandering sidewalks are preferred over rigid, straight alignments.

All development proposals should coordinate pedestrian and vehicular circulation patterns with adjacent buildings and sites.

Shared access drives are encouraged to minimize curb cuts.

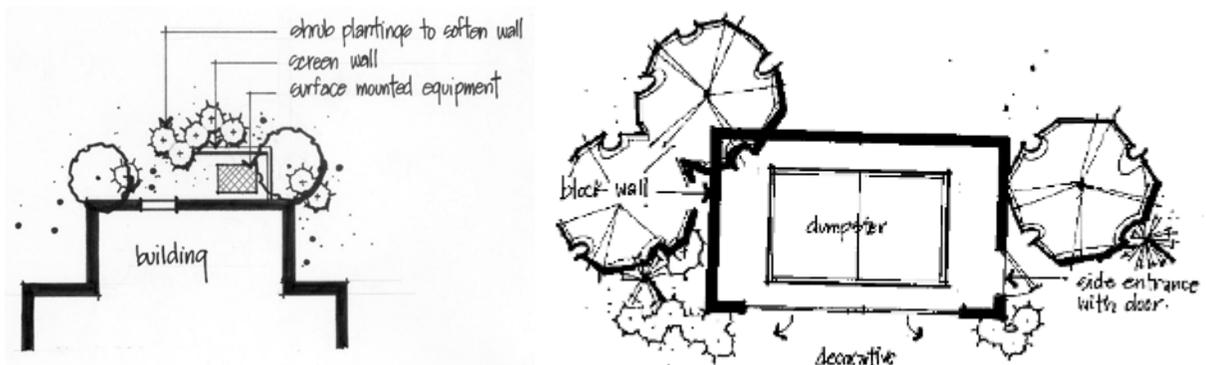


Lots shown (above) have coordinated their layout to maintain continuity of parking areas and building orientation, and also to create more significant natural areas.

Lots shown (right) share a common drive, reducing the number of curb cuts along the street and also share parking and trash enclosure.

Placement of roads and driveways that follow natural topography wherever possible is encouraged to minimize cutting and grading.

Mechanical equipment, loading/unloading areas and utility areas should be screened and located in an area of the site not readily viewed by the public.



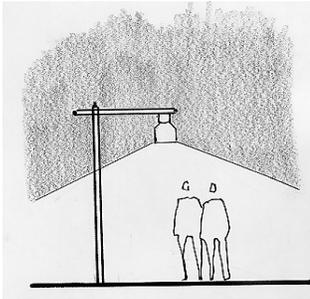
Dark-sky principles should govern the design of all site lighting and signage. Care should be taken to minimize the amount of light spill from structures, including spill from skylights and windows.



Acceptable fixtures shield the source of illumination from the top and side.



Carriage fixtures that are fully shielded (bulb is located in the upper housing element of the fixture) may be used.



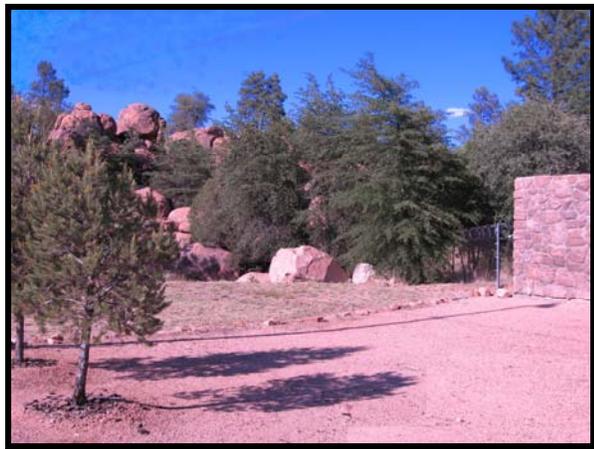
Unacceptable fixtures do not obscure the source of illumination allowing for glare and light trespass.

3. Landscaping

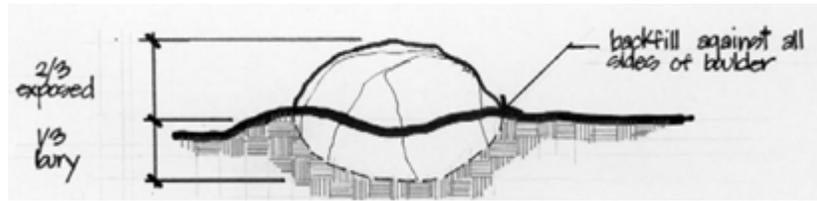
Landscaping should be integral to the overall design concept and should be carefully planned to serve more than one purpose. The landscape design should contribute to the overall appearance and function of the site as well as the streetscape.



Development should enhance the beauty of the landscape by the preservation of significant natural topographic features, such as rock outcroppings, mature native trees and plants, and floodplains or drainage ways.



Boulders should be “planted” as shown to appear natural.



Low water use perennials are encouraged within planter areas.

Trees and plants should be provided against all buildings to anchor them to the site and the surrounding environment and help soften the structure.

Landscaping in all projects should be maintained in a healthy and attractive condition and replaced as needed.

4. Signs

Signs are a means of communication for the convenience of the public. To make them effective; over concentration, improper placement, and excessive size should be avoided.

Signage should be compatible with nearby public and private property and should be an integral component of the style and character of the building(s) to which they relate.

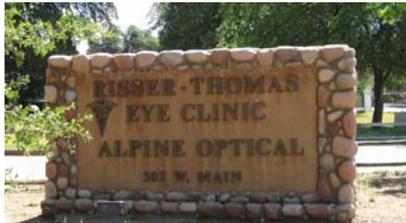


This sign is architecturally integrated with the building through the use of repeating materials, dark-sky compliant through the use of lights recessed under the sign roof, and landscaped appropriately.

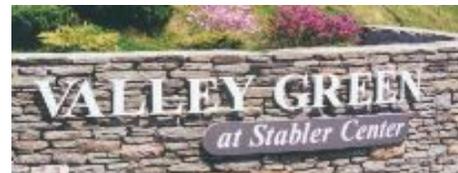
Signs on sandblasted rock, engraved wood, and similar creative and distinctive graphics are encouraged.



Non-illuminated, low profile monument style signs are preferred.



The use of channel letters (face lit), or reverse channel letters (halo lit) instead of illuminated box or cabinet style signs is encouraged.



All signs and awnings should be maintained in good repair.

PART II

A. Applicability

1. The Design Review overlay district shall include all property located within the Town of Payson.
2. The following activities occurring within the Design Review overlay district shall obtain Design Review approval prior to the issuance of any grading or building permits or commencement of any construction activity:
 - a. Any construction activity requiring a grading or building permit.
 - b. Modifications to signage or new signage.
 - c. Any exterior painting of a building, fence, wall, or façade.
 - d. Changing of a building façade or roof.
 - e. Removal or modifications to existing landscaping.
 - f. Site modifications including any grubbing, stripping, cutting, excavating, filling, or shaping of the earth, land, soil or material, or removal of vegetation.
 - g. Exterior display or storage of merchandise, goods, supplies, or similar items.
 - h. Construction of or modifications to accessory structures, fences and site walls.
3. The following activities occurring within the Design Review overlay district shall be exempt from Design Review:
 - a. Construction of or modifications to single family detached and two and three family residential units.
 - b. Maintenance of the exterior of an existing structure such as repainting, re-roofing, and re-siding where the same materials and colors are used, so long as those colors and materials were previously in compliance with or approved through the Design Review process.
 - c. Interior remodeling.

PART III

A. Application Procedure

1. Applications for Design Review consideration of any project shall be made on the forms provided by the Community Development Department.
2. All applicants shall arrange a pre-application conference with the Community Development Director or his/her designee prior to the submittal of a Design Review Application Packet.
3.
 - a. The Design Review Board shall review all Design Review applications except minor changes.
 - b. Minor changes shall be reviewed by the Community Development Director or his/her designee.
 - c. Minor changes shall mean any of the following, except for those properties covered by Part IV Subsection D – Historic “Main Street” Payson:
 - i. All resurfacing of existing vertical structures
 - ii. All signs that are otherwise in compliance with this Code
 - iii. A building or vertical structure that (1) is an addition or accessory structure to an existing building and does not exceed the lesser of 25% of the existing building floor area or five thousand (5,000) square feet and (2) is complimentary with surrounding properties as well as the existing building.
 - iv. An addition or accessory structure that does not substantially or detrimentally alter the appearance of the site as seen from off-site.
 - v. Additions or expansions of a site, where no vertical structure is involved.
4. All Design Review applications shall be approved or denied within fifteen (15) calendar days from the date of a complete submittal, unless the applicant requests an extension.
5. A design review application shall not be approved unless the applicant demonstrates the following:
 - a. Consistency with the purpose & intent, vision & goals, and principles of the Design Review Overlay District; and
 - b. Compliance with the Development Standards set forth in 15-02-014, PART IV.
6. In conjunction with subsection 3 above, the Design Review Board or Community Development Director, on a case by case basis, may make exceptions to the development standards set forth in 15-02-014, PART IV (a) to eliminate or mitigate legal nonconforming buildings, signs or other structures, and (b) due to unique characteristics or features of the site.
7. Design Review approval, unless otherwise specified in approval conditions, shall be valid for a period not to exceed 18 months from date of approval.

B. Appeals

1. Any applicant aggrieved by a Design Review decision may appeal that decision, provided the applicant submits an appeal in writing within 15 days of the date of the decision. The applicant shall specify in the written appeal any alleged errors in the decision and shall have the burden of demonstrating why the decision was in error.
 - a. An appeal of a decision by the Community Development Director shall be heard by the Design Review Board as soon as is reasonably practicable following receipt of the appeal by the Community Development Department and in accordance with Arizona's Open Meeting Laws.
 - b. An appeal of a decision by the Design Review Board shall be heard by the Town Council as soon as is reasonably practical following receipt of the appeal by the Community Development Department and in accordance with Arizona's Open Meeting Laws.
 - c. In no case shall the date for an appeal hearing exceed 60 calendar days from the date the appeal is received by the Community Development Department, unless specifically requested by the applicant.

C. Maintenance and Enforcement

1. Prior to issuance of a building permit or grading permit the Building Official shall determine that all requirements of the Design Review have been met.
2. The Community Development Director or Director's designee shall insure that all matters are undertaken according to conditions of the approved plans. Noncompliance with the approved plans shall be grounds for stopping work on the project or for denial of a Certificate of Occupancy.
3. Failure to maintain compliance with the requirements of section 15-02-014 shall be subject to enforcement action in accordance with Section 15-10.

PART IV

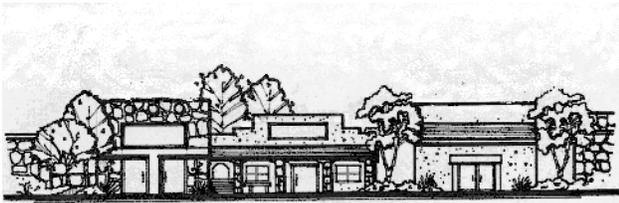
REGULATIONS AND DEVELOPMENT REQUIREMENTS

A. Commercial Zones/Non Residential in Residential Zones

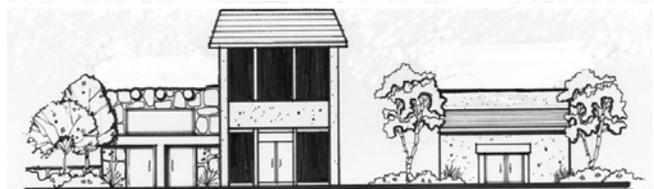
Architectural Character

1. Building Style

- a. Architectural style shall be appropriate to our small, rural, western, mountain town. Examples of preferred architectural style are provided in Part I, Section C.1.
- b. Blank walls or wall sections shall be limited. Walls exceeding 20 feet in length shall have off sets or other architectural features.
- c. All visible facades shall have similar detailing as and be compatible with any street facing façade of the building.
- d. Building pads or structures, parking areas, and other use areas shall be stepped with the terrain and/or divided into a series of smaller components.
- e. Where applicable, buildings shall be stepped down in height as they approach adjacent, smaller structures.



Encouraged



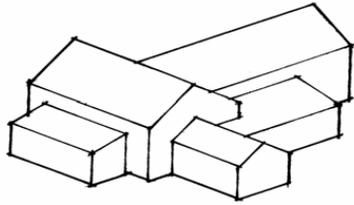
Discouraged

2. Materials

- a. Approved building materials include; wood, stone, faux wood, faux stone, textured architectural concrete masonry, and stucco infill panels framed with other approved materials.
- b. Metal buildings are permitted if they have a façade composed of approved building materials on all visible sides.
- c. Decorative metal such as rails, jambs, trim and limited wall area are acceptable if consistent with the purpose and intent of this section.

3. Roofs

- a. Rooflines shall be offset to create interest. No parapet or ridgeline shall exceed 75% of the linear dimension of the building running parallel to the parapet or ridgeline.



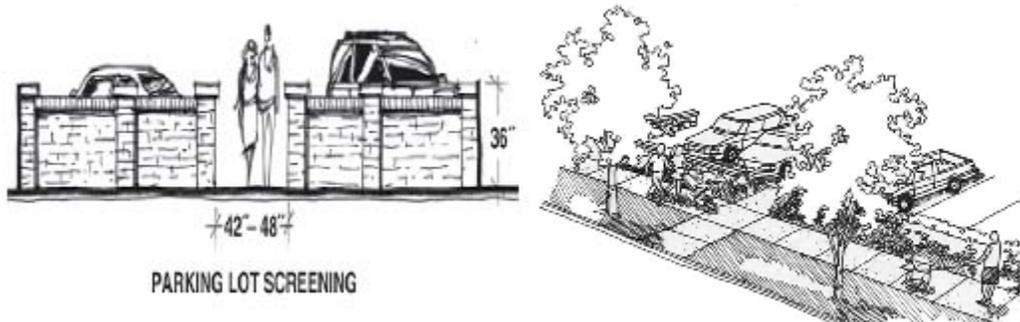
Appropriate: A variation in roof heights add architectural articulation.

- b. Visible facades shall give the impression of a sloped roof.
 - c. Metal roofs (with non-reflective/low reflectance finishes) concrete faux slate and concrete faux wood shingles in natural colors, and architectural 40 year asphalt composition shingles are acceptable.
 - d. Mission style tile and light colored roofs are not allowed.
4. Windows and Doors
- a. Detail such as trim is required at all doorways and around windows.
 - b. Windows and openings shall constitute a minimum of 35% of the area of the first floor entry side, 20% minimum on street sides. (Multi-family residential projects excluded.)
 - c. Contemporary forms, details and materials are discouraged.
 - d. The use of mill finished aluminum windows and door frames is prohibited.
5. Signage
- a. Signs and their supports shall be architecturally integrated with the buildings for which they apply.
 - b. Signs shall be dark-sky compliant.
 - c. All freestanding signs shall include landscaping.
 - d. Outdoor, internally illuminated advertising signs shall either be constructed with an opaque background and translucent letters and symbols or with a colored (not clear, white, cream, off-white, yellow or other light color) translucent background, with either translucent or opaque letters and symbols. (Opaque means only that the material must not transmit light from the internal illumination source.)
6. Colors
- a. Colors utilized for all structures, including visible roof surfaces and non-copy areas of signage, shall have a light reflectance value of 35% or less.
 - b. Glossy or reflective paints or materials are not permitted. Only natural hues and weak chromas of any color will be considered.
 - c. Paint and stain colors shall reflect naturally occurring forest elements, surrounding soil, rock, vegetation or other existing natural features of the site.

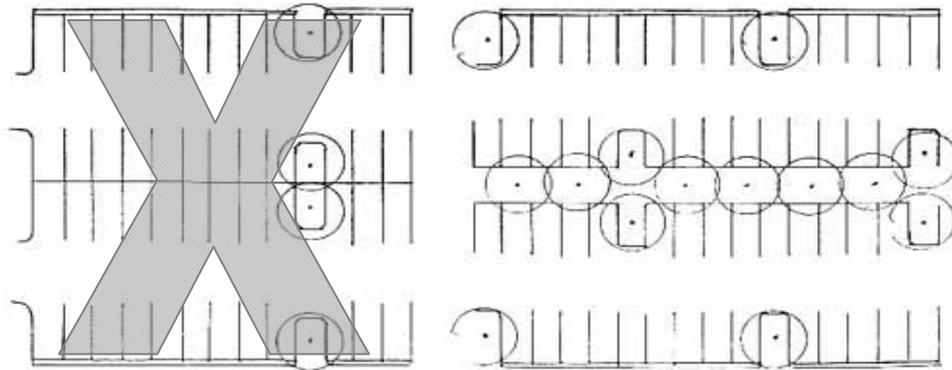
Site Character

7. Landscaping
- a. Existing natural landscaping shall be preserved wherever possible, including existing native vegetation in building front, side and rear yard setbacks.

- b. Natural on site rock outcrops and boulders shall be retained, preserved and augmented where feasible.
 - c. Any site area not paved or occupied by structures shall be preserved in its undisturbed state or landscaped in a naturally appealing state to provide dust and erosion control and to prevent environmental pollution of the air or waterways.
 - d. Landscaping shall be provided at the foot of buildings to soften the transition between paved areas on the ground and building materials on the vertical plane.
 - e. Proposed development shall be required to include street trees, boulders and native vegetation within the adjacent rights of way areas. In areas where an adopted streetscape plan is in effect, tree placement and selection shall be in accordance with the respective plan.
 - f. Approved landscaping shall be maintained in a healthy condition with adequate watering, fertilization, and grooming in accordance with industry standards.
8. Lighting
- a. “Dark Sky”, full-cutoff fixtures that shield the source of illumination are required.
9. Fences, walls, and equipment screening
- a. Fences and walls adjacent to public rights of way shall utilize only permitted building materials.
 - b. Fences, walls and screening of mechanical equipment and utility boxes shall be compatible with the building style and shall be an integral part of the overall site design.
10. Parking and Pedestrian Systems
- a. Pedestrian systems shall be clearly defined and differentiated from parking and driveways with different surface texture and/or color.
 - b. Pedestrian systems shall connect the pedestrian system along the public right of way to the main entrance of the building.
 - c. Parking areas, including temporary parking for fueling, drive-through areas and similar uses shall be screened from public rights of way with hedges, low screen walls, earth berms or other landscaping.



- d. Planted islands large enough to accommodate trees and low shrubs shall be located at the ends of parking rows, and between opposing rows of parked cars.



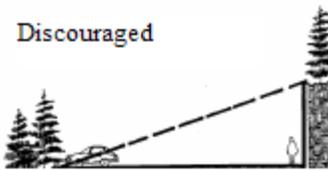
Unacceptable

Acceptable landscaping between opposing rows of parked cars

- e. Landscape islands within parking areas shall be arranged to protect in place significant native trees over six (6) inches in diameter. Where groves of native trees need to be cleared for parking areas, trees shall be retained within the setback areas of the site and within landscape islands at various locations in the interior of the parking areas.

11. Topography

- a. The topography of the existing site shall be strongly considered in the design of the proposed project. Extensive cutting and/or filling is discouraged. The intended result at completion is for a “natural” looking improvement.



B. Multifamily Residential Development – The provisions of section A above shall govern.

C. Industrial Districts (M1, M2)

Architectural Character

1. Building Style
Step downs in roof ridge lines and wall offsets are encouraged to add interest to the building façade and to create an attractive building massing.
2. Materials
Building materials may include; wood, stone, faux wood, faux stone, textured architectural concrete masonry, stucco, and metal buildings. Other materials will be considered when integral with the business's products.
3. Roofs
Metal roofs (with non-reflective/low reflectance finishes) concrete faux slate and concrete faux wood shingles in natural colors, and architectural fire resistant asphalt composition shingles are acceptable. Light colored roofs are not allowed.
4. Windows and Doors
Mill finish aluminum frame work is not allowed.
5. Signage
 - a. Signs shall be limited to wall or building mounted and/or freestanding low profile signage only.
 - b. Sign illumination shall be dark-sky compliant.
 - c. All freestanding low profile signs shall include landscaping.
 - d. Outdoor, internally illuminated advertising signs shall either be constructed with an opaque background and translucent letters and symbols or with a colored (not clear, white, cream, off-white, yellow or other light color) translucent background, with either translucent or opaque letters and symbols. (Opaque means that the material does not transmit light from the internal illumination source.)
6. Colors
 - a. Colors utilized for all structures, including visible roof surfaces and non-copy areas of signage, shall have a light reflectance value of 40% or less.
 - b. Glossy or reflective paints or materials are not permitted. Only natural hues and weak chromas of any color will be considered.
 - c. Paint and stain colors shall reflect naturally occurring forest elements, surrounding soil, rock, vegetation or other existing natural features of the site.

Site Character

7. Landscaping
 - a. Existing natural landscaping shall be preserved wherever possible, including existing native vegetation in building front, side and rear yard setbacks.
 - b. Natural on site rock outcrops and boulders shall be retained, preserved and augmented where feasible.

- c. Any site area not paved or occupied by structures shall be preserved in its undisturbed state or landscaped in a naturally appealing state to provide dust and erosion control and to prevent environmental pollution of the air or waterways.
 - d. Landscaping shall be provided at the foot of buildings to soften the transition between paved areas on the ground and building materials on the vertical plane. Properties within the airport, properties located along Town designated airplane taxiways, and uses of buildings that are unduly restricted by the application of this provision may be granted relief from this provision by the Design Review Board or Community Development Director as applicable.
 - e. Proposed development shall be required to include street trees, boulders and native vegetation within the adjacent rights of way areas. In areas where an adopted streetscape plan is in effect, tree placement and selection shall be in accordance with the respective plan.
 - f. Approved landscaping shall be maintained in a healthy condition with adequate watering, fertilization, and grooming in accordance with industry standards.
8. Lighting
“Dark Sky”, full-cutoff fixtures that shield the source of illumination are required.
9. Fences, walls, and equipment screening
No additional requirements.
10. Parking and Pedestrian Systems
- a. Pedestrian systems shall be clearly defined and differentiated from parking and driveways with different surface texture and/or color.
 - b. Parking areas, including temporary parking for fueling, drive-through areas and similar uses shall be screened from public rights of way with hedges, low screen walls, earth berms or other landscaping.
 - c. Planted islands large enough to accommodate trees and low shrubs shall be located at the ends of parking rows, and between opposing rows of parked cars.
 - d. Landscape islands within parking areas shall be arranged to protect in place significant native trees over six (6) inches in diameter. Where groves of native trees need to be cleared for parking areas, trees shall be retained within the setback areas of the site and within landscape islands at various locations in the interior of the parking areas.

D. Historic “Main Street” Payson

In addition to the provisions of Part IV, subsection A, all development located within the front 200 feet of all lots fronting on W. Main Street from Oak Street to Highway 87 shall be subject to the provisions of this subsection D. (see diagram below)

Vision

Historic old town Payson “Main Street” was the unique area of 1890-1930’s Payson center of commerce and social activity. With this significant history, it is the intent and vision of these guidelines to encourage a rebirth, with economic vitality to the historic Main Street’s pre-1930’s era aesthetic and spirit of old Payson.



Purpose

The purpose of these guidelines is to ensure development is in harmony with the vision of old town Payson’s historic “Main Street” as a destination experience. This will be accomplished through new and remodeled pre 1930’s building facades, pedestrian and retail-friendly streetscapes with tree-lined boulevards and land planning that promotes this special sense of place. Building facades, street furniture, landscaping, public and private graphics, all with historic Main Street era elements will encourage this rebirth of Payson’s Historic “Main Street.”



Historic Main Street Design Review Area

Architectural Character

1. Building Style
 - a. Suitability of the building for its location on Historic Main Street will be considered.
 - b. Buildings shall reflect historic old Main Street era design and shall be compatible with adjacent structures and the intent and purpose of these regulations.
 - c. In the areas of restoration/rehabilitation concealing of the original façade should be avoided.
 - d. Overhead structures, with a minimum of 8 feet vertical clearance are required on the façade of the ground floor. Overhead structures are architectural features incorporated into the building façade, an embellishment of the building that provides visual interest, shade, and pedestrian comfort and protection. Overhead structures should be used to incorporate historic old Main Street era architecture. (See Appendix D)
 - e. The architectural design shall be historically themed and shall be compatible with the historic area aesthetic. Design compatibility shall include complimentary building style, form, scale, size, colors and materials.
 - f. Diversity of architectural design of that pre-1930's traditional Main Street era is encouraged. (See examples Appendix D)
 - g. Reveals are encouraged at all doorways and windows that front on Main Street. Reveals are also encouraged at side and rear walls visible from Main Street.
2. Materials
 - a. Rough-sawn wood, stone and pre 1930's historic old Main Street era materials reflecting the "pioneer" look are encouraged. Faux representative materials will be considered. (See Appendix D)
 - b. Reflective, mirrored glass, and glass block windows are prohibited.
3. Roofs
 - a. Gabled roof, shed roof, or boomtown facades are required.
4. Windows and Doors
 - a. Windows and/or other openings shall constitute at least 50% of the surface area of all first floor walls or facades facing Main Street. Where occupancy dictates, a lesser percentage may be considered by the Design Review Board.
5. Signage:
 - a. All new and replacement signs within the Historic Main Street corridor shall promote the image of historic Main Street, approximately 1890 through 1930, when Main Street was the center of commerce in Payson. By recreating the visual impact of the graphics of the time at an affordable cost, the street image will change without incurring the more costly, in both time and dollars, building façade replacements or new developments. Town of Payson standardized Street signs, public information signs and address signs as well as the individual private business signs shall be designed and installed to

promote the early 1900's streetscape graphic visual. (See examples Appendix D)

- b. Oversized Historic Main Street signs will be considered on a case by case basis. Photographic historical examples submitted with the applicant's proposal will weigh in the evaluation of the applicant's proposed oversized signs. Maximum increase in the size of an oversized sign is 100%.
- c. Boomtown facades with an oversized sign field are encouraged.
- d. Shed Roof covered walkways with individual proprietor's signs are encouraged. Several examples of this aesthetic and graphics are evidenced in historical photographs. (See Appendix D)
- e. All new signs should utilize the Payson area indigenous stone, and/or wood aesthetic to the greatest degree feasible. The sign supports, field materials and colors should reflect the mountain forest environment with bright colors limited to use in the graphics.
- f. All new building signs shall be applied on, affixed to, or supported by the "front" street facing façade of the building only. Other sign types/styles considered will be freestanding monument signs, freestanding pole/arm placard signs, temporary portable event signs.
- g. Prohibited sign materials/components include neon, vacuum-formed, and internally illuminated or back-lit light cans.

Site Character

6. Colors (No additional requirements-see Part V, subsection A.)
7. Landscaping
 - a. Any area between adjacent buildings shall be landscaped or screened from public view.
 - b. Landscaping shall compliment the old Main Street image and provide a pedestrian-friendly environment.
 - c. Window planter boxes, hanging baskets, and ground containers are encouraged for flowers.
 - d. Colors, textures and materials selected for walkways, patios and other ground plane enhancements shall emulate historical materials and shall be pedestrian friendly.
 - e. Street furniture shall be historically themed and of a design and character consistent with Town streetscape elements.
8. Lighting
 - a. Lighting fixtures shall appropriately reflect the historic Main Street era. (See examples Appendix D)
9. Fences, walls, and equipment screening
 - a. Fences, walls and screening for mechanical equipment shall comply with the approved building materials and be compatible with the project.
 - b. Fences and walls shall be historically themed.

- c. Utility areas, trash receptacles, storage, service and loading/unloading areas should be located at the rear of the site and shall be screened from public view with approved materials.
10. Parking and pedestrian systems
 - a. Parking may not be placed forward of the building face on any portion of the lot with street frontage.
 - b. Shared driveways are encouraged. (Shall be utilized where feasible.)
 - c. One driveway per lot is allowed. When necessary a second driveway may be considered.
 - d. Circulation patterns shall be safe and obvious. Pedestrian routes should promote window shopping.
 - e. Where pedestrian routes cross vehicular routes the following shall be provided: a change in grade, materials, textures or color delineation.
 - f. Bicycle parking facilities are encouraged and shall include provisions for locking of bicycles in secure racks.
 11. Topography (No additional requirements-see Part V, subsection A.)
 12. Building Setbacks
 - a. Zero front yard and street side yard setbacks are allowed.

E. Government Properties and Buildings, Public Utilities – The provisions of section A above shall govern.

PART V

CROSS REFERENCES

Landscaping and Buffering, U.D.C. Section 15-03

Tree Preservation, Town of Payson Code of Ordinances Title XV, Chapter 153

Parking and Loading, U.D.C. Section 15-04

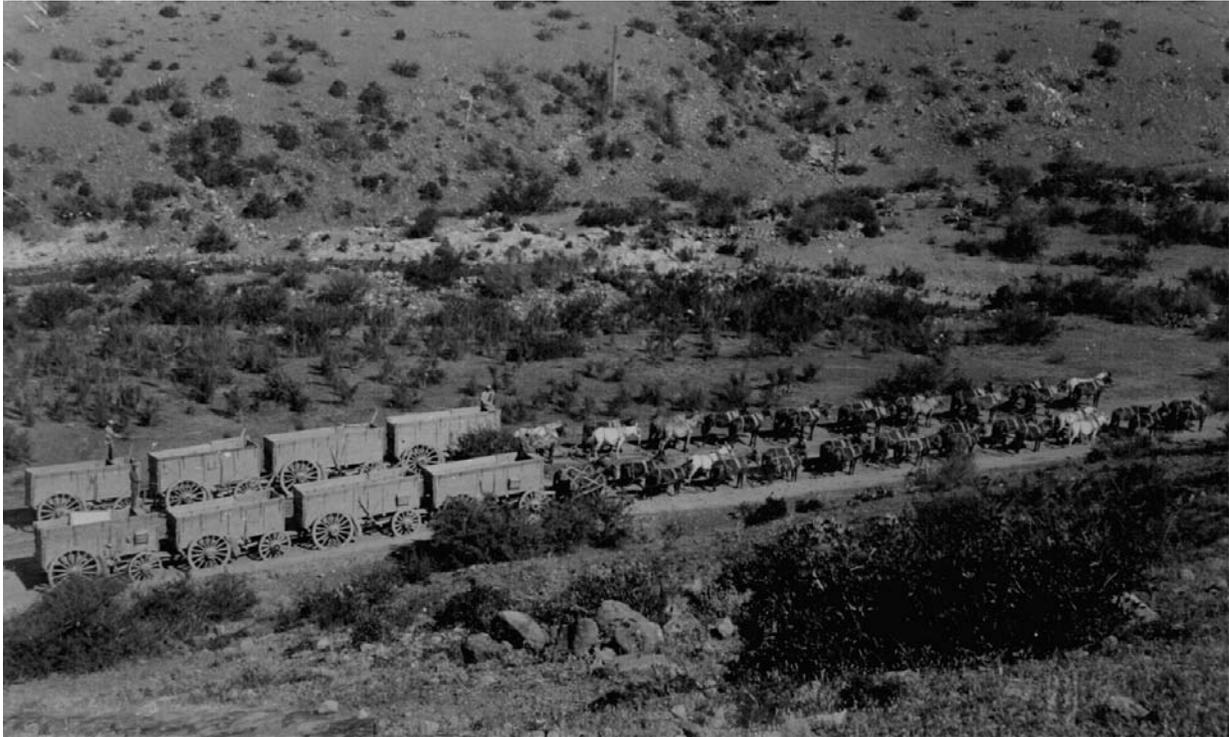
Signs, U.D.C. Section 15-05

Grading & Drainage, Town of Payson Code of Ordinances Title XV, Chapter 152

Town of Payson Native & Low Water Use Plant List

Appendix D

Historic “Main Street” Payson



(Top) This photo is representative of early Payson’s lifeline – the freight wagon train

*Today,
numerous
events and
celebrations
continue the
tradition of
community
gatherings on
Payson’s
“Main Street”*

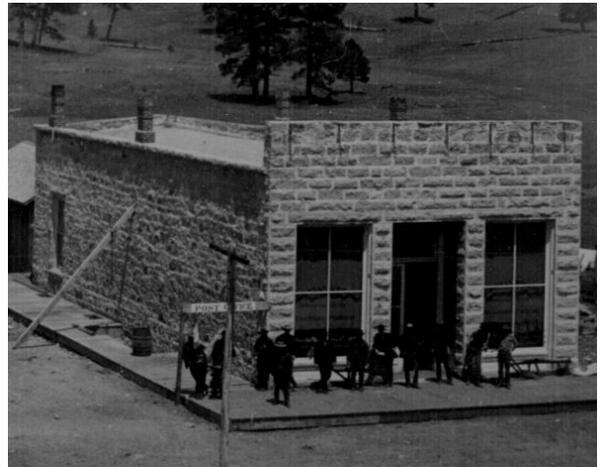


Appendix D

Architectural Character

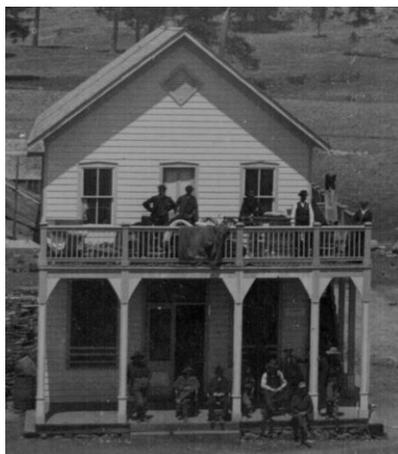


*Boom Town Fronts,
Materials & Grammar
reflecting the
“Pioneer Look”*



Appendix D

Architectural Character – Covered Walkways



Appendix D

Pre 1930's Main Street Payson



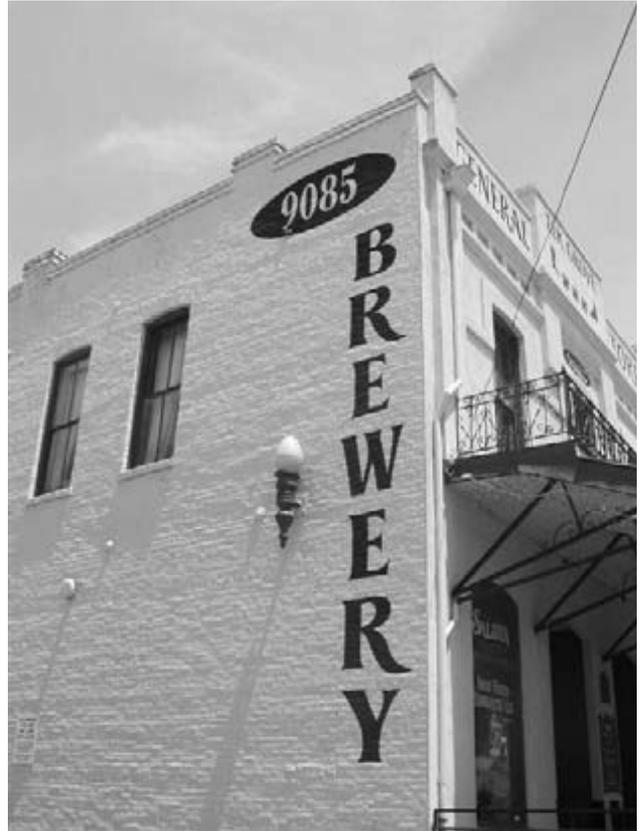
Appendix D

Examples of Preferred Storefront:
(i.e. Windows & Doors 50% Glass)



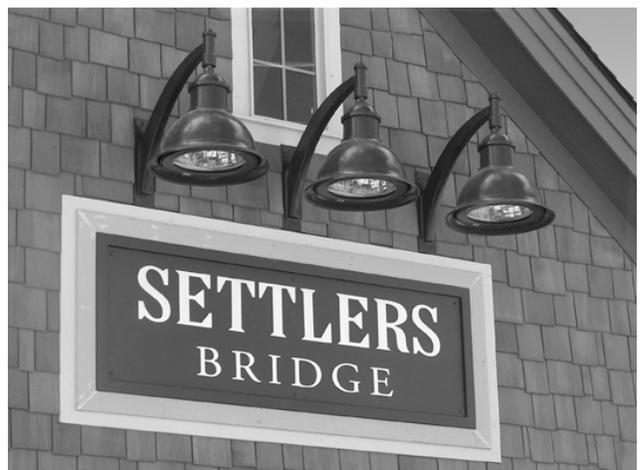
Appendix D

Signage



Appendix D

Lighting Fixtures



Appendix D

Recent Renovations



Appendix D

New Construction



Updated 9.22.09



Town of Payson
Design Review Application
 (Please complete ALL fields unless otherwise noted)

Board Review Fee: \$150.00
Administrative Review Fee: \$ 50.00

Community Development Department
 303 N. Beeline Hwy
 Payson, AZ 85541
 Tel: (928) 474-5242 Fax: 928-472-7490
 www.rc{urpe}l qx

Site/Project Address (if available)		Parcel #	
Owner:	Owner Phone:	Email:	
Address:		City/State/Zip:	
Engineer/Contractor:		Phone:	
Address:	Email:	City/State/Zip:	License # (if applicable)
Contact Person:	Phone:	Fax:	
Contact Email:	Address:		

Description of Project: _____

Submittal Materials Required

Two 24" X 36" sets and seven 11" X 17" sets of each of the following unless otherwise noted;

- Completed Town Design Review Application/Checklist (This form).
- Architectural Site Plan
- Preliminary Grading & Drainage plan
- Survey
- Landscape/hardscape Plan
- Exterior Elevations
- Floor Plans
- Building Section(s)
- Roof Plan – if required by Planning Staff
- 1 colored print of all 4 exterior elevations (coordinated with color board)
- 1 copy of color and materials information with labels, mounted on 8 ½" X 11" card stock
- Sign package
- Project Narrative
- Photographs of existing site
- Cut Sheets for proposed light fixtures – include finishes
- Lighting plan

Please explain below if any fields have intentionally been left blank.

Do not write below this line. For departmental use only.

Received By: _____	Date: _____	Review: PLN _____	BLDG _____	FIRE _____	PW _____
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